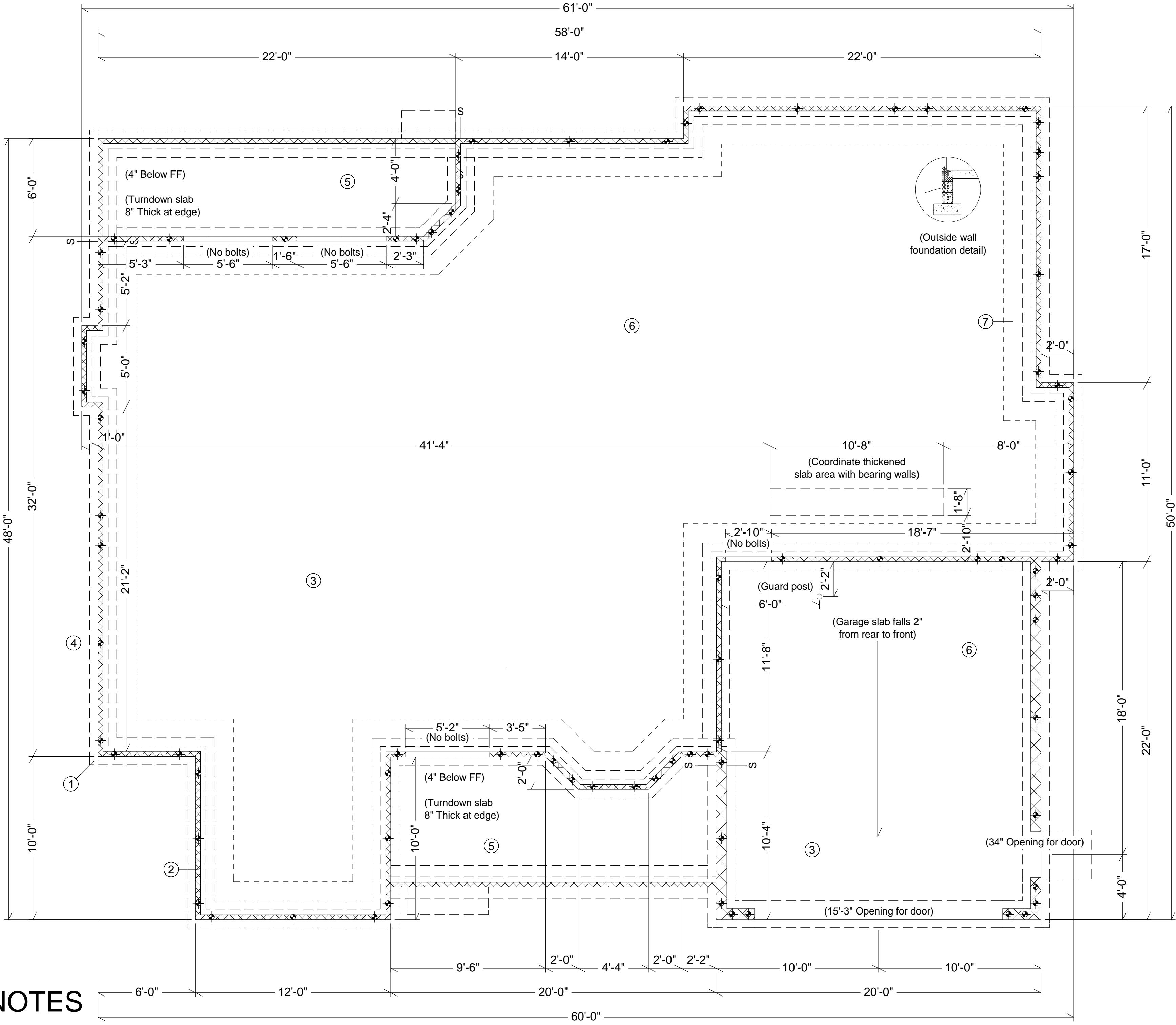


FOUNDATION NOTES

1. CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR CONTROLLED FILL CAPABLE OF SUPPORTING A DESIGNED SOIL PRESSURE OF A MIN. OF 1500 PSF.
2. CONCRETE FOOTING SHALL EXTEND AT LEAST 12" INTO UNDISTURBED SOIL AND FOOTING BOTTOM SHALL BE A MIN. 16" BELOW FINISH GRADE. SEE ENGINEERING SITE PLAN FOR FINISH FLOOR GRADE ELEVATION TO DETERMINE FOOTING DEPTH.
3. ALL FOOTING ELEVATIONS ARE MAXIMUM AND SHALL BE LOWERED AS NECESSARY TO OBTAIN THE DESIGN BEARING PRESSURE OR TO MAINTAIN ADEQUATE COVER OVER THE FOOTINGS.
4. ANY EARTH FORMED FOOTINGS SHALL CONFORM TO THE SHAPE, LINES AND DIMENSIONS OF FOOTING DETAILS AS INDICATED ON FOUNDATION PLAN.
5. CONCRETE FOOTINGS THAT WHERE DUG PRIOR TO FOUNDATION POUR WHICH CONTAIN WATER SHALL HAVE ALL WATER REMOVED FROM FOOTING BEFORE MAKING POUR.
6. CONCRETE FOR FOOTINGS AND SLAB AREAS SHALL OBTAIN A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS.
7. ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM STANDARDS A-615 GRADE 60.
8. CONTROLLED FILL UNDER SLABS AND FOOTINGS SHALL BE PLACED IN 8" LOOSE LIFTS AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUN DRY DENSITY IN ACCORDANCE ASTM D-1557.
9. SUBCONTRACTORS SHALL FIELD CHECK AND VERIFY DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER.
10. ALL WOOD COMING IN DIRECT CONTACT WITH MASONRY SHALL BE SALT TREATED. ALL FASTENERS IN CONTACT WITH TREATED LUMBER TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

DRAWING NOTES

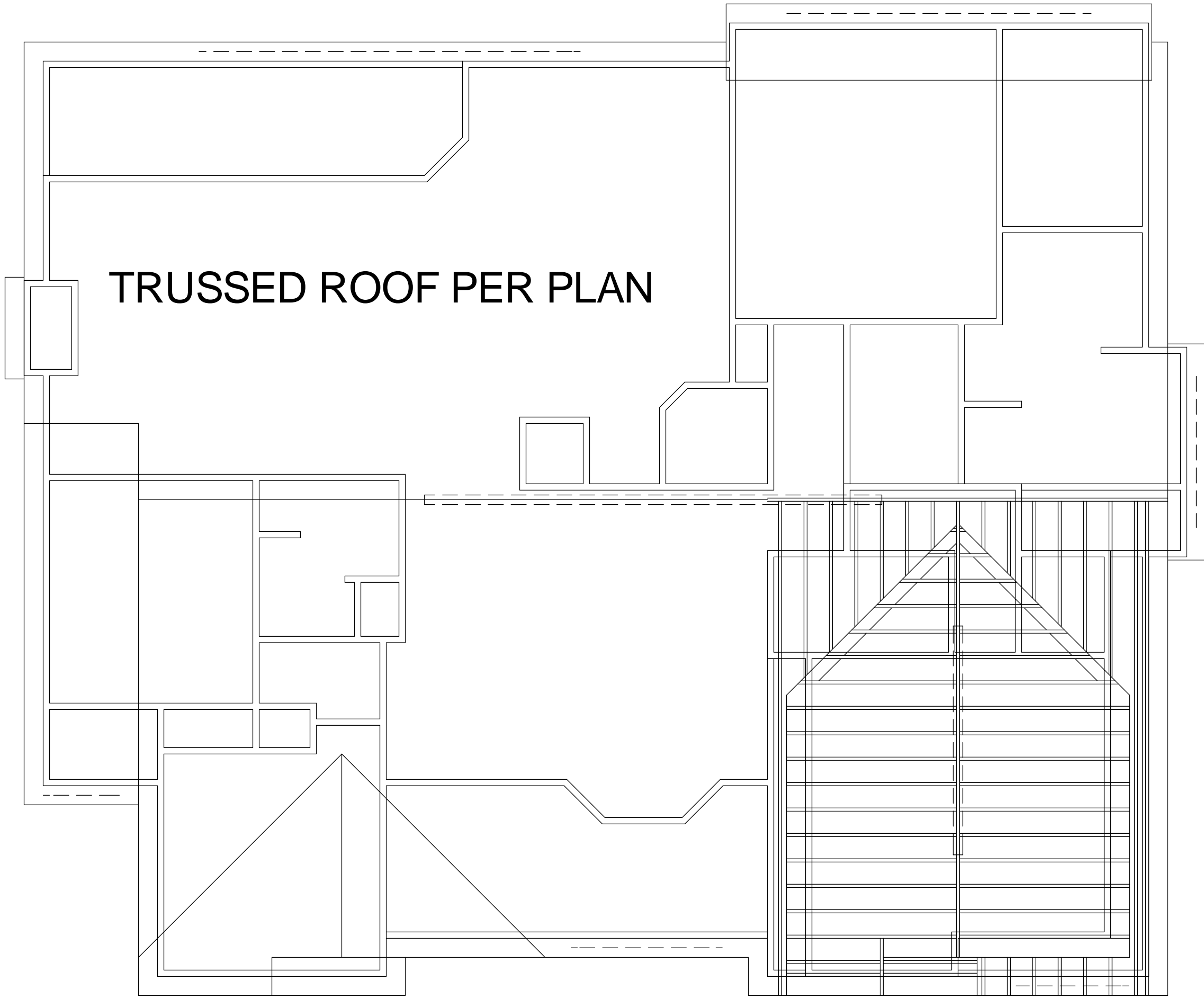
1. DOTTED LINE INDICATES 20"x8" THICK FOOTING.
2. LOCATION OF 8"x16" CMU PERIMETER WALL SYSTEM WITH 8" SHOE CAP. SEE DETAILS (TYP.)
3. 4" THICK (3000 PSI) CONCRETE FLOOR SYSTEM WITH 6 x 6 WWF 2" FROM TOP OF SLAB OR FIBERGLASS REINFORCEMENT OVER 6 MIL. POLY VAPOR BARRIER OVER 4" OF 95% COMPACTED SAND FILL. GARAGE SLABS ARE NOT INSULATED.
4. PROVIDE 1/2" DIA. x 10" LONG ANCHOR BOLTS SPACED AT A MIN 12" FROM EACH CORNER AND END OF 14' PLATE AND 6'-0" O.C. MASONRY SUBCONTRACTOR SHALL REVIEW PLANS AND SECTIONS IN ADDITION TO FOUNDATION DRAWINGS AS TO DETERMINE LOCATION OF DOOR AND WINDOW OPENING AND ANCHOR BOLT LOCATIONS AND REQUIREMENTS.
5. PROVIDE EXTENDED FOOTINGS FOR PORCH AND STEPS.
6. CONTRACTOR SHALL VERIFY LOCATION OF MECHANICAL EQUIPMENT, WELL, PUMP, ALL PLUMBING STUB UPS AND FLOOR DRAINS IN SLAB PRIOR TO POURING OF CONCRETE SLAB SYSTEM AND START OF FRAMING.
7. PROVIDE R-10 x 24" PERIMETER INSULATION AT EXTERIOR WALL LOCATIONS



ROOF NOTES

- ATTIC VENTILATION NOTES:
*Provide adequate cross ventilation per IRC code R806.2 for all concealed attic and rafter spaces. Venting to consist of continuous soffit and roof ridge vents.
- TOTAL ATTIC AREA 2756 square feet
- MINIMUM REQ. VENTILATION
--1 to 300
with upper ventilation 9.2 square feet
- Cont Soffit Vents (76')
9 sq in NFVA per ft 4.8 sq ft (52%)
Cont Ridge Vents (36')
18 sq in NFVA per ft 4.5 sq ft (48%)
- TOTAL VENTS SHOWN 9.3 square feet
- FRAMING NOTES:
1. Simpson H-5 rafter tie @ each rafter.
2. Simpson 5" Angle C-5 ridge-hip anchor.
- ROG ROOF FRAMING:
Rafters- SPF #2 (2 x 8 @ 16" oc)
Ridge- SPF #2 (2 x 12)
Rafter Ties / Ceiling Joists-
SPF #2 (2 x 8 @ 16" oc)
Collar Ties- SPF #2 (2 x 4 @ 48" oc)

TRUSSED ROOF PER PLAN



ROOF FRAMING AND VENTILATION PLAN SCALE= 3/16" = 1'-0"

Revisions :

Drawn by:
D.C. Moore
1936 General Booth Blvd
Va Beach, VA 23454

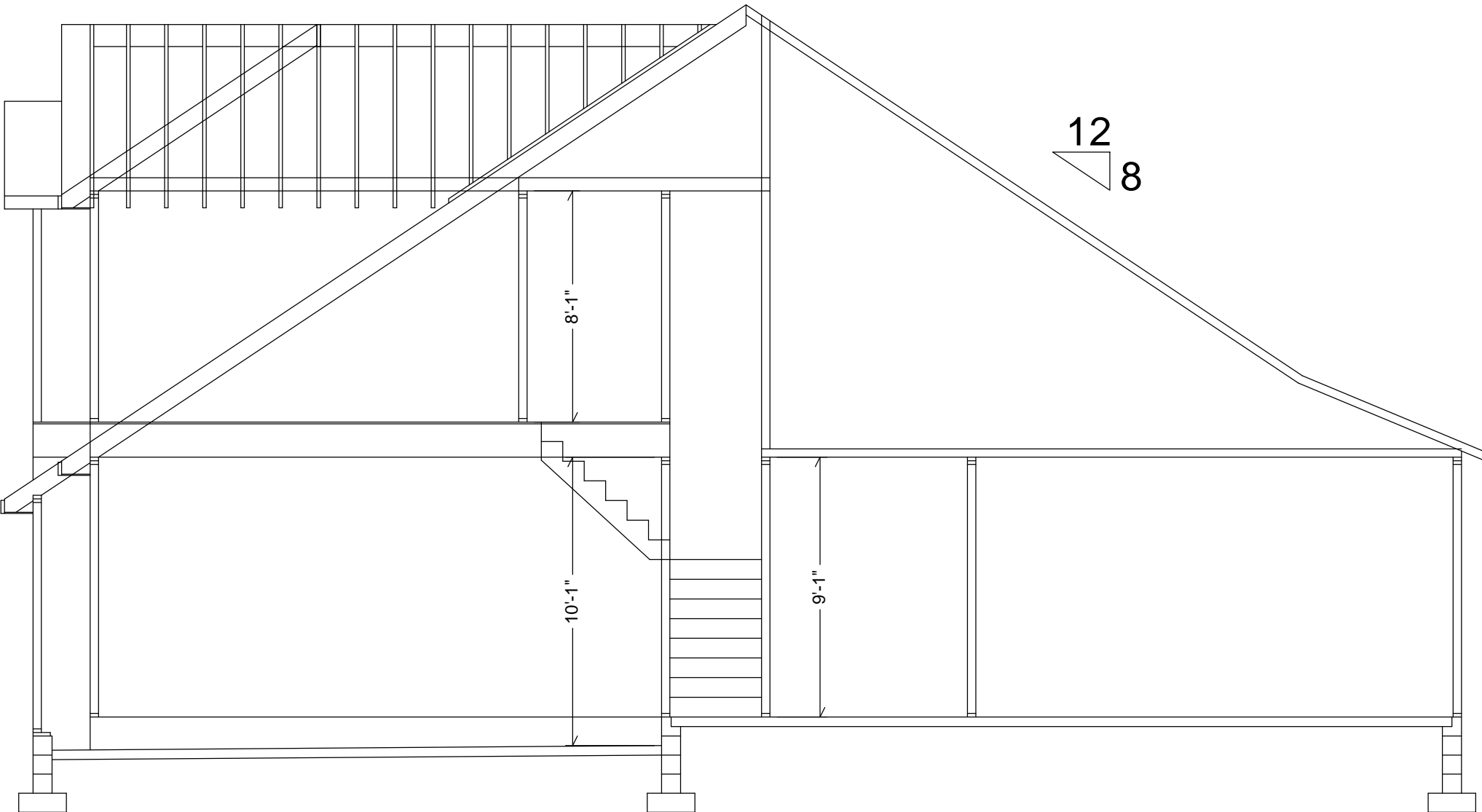
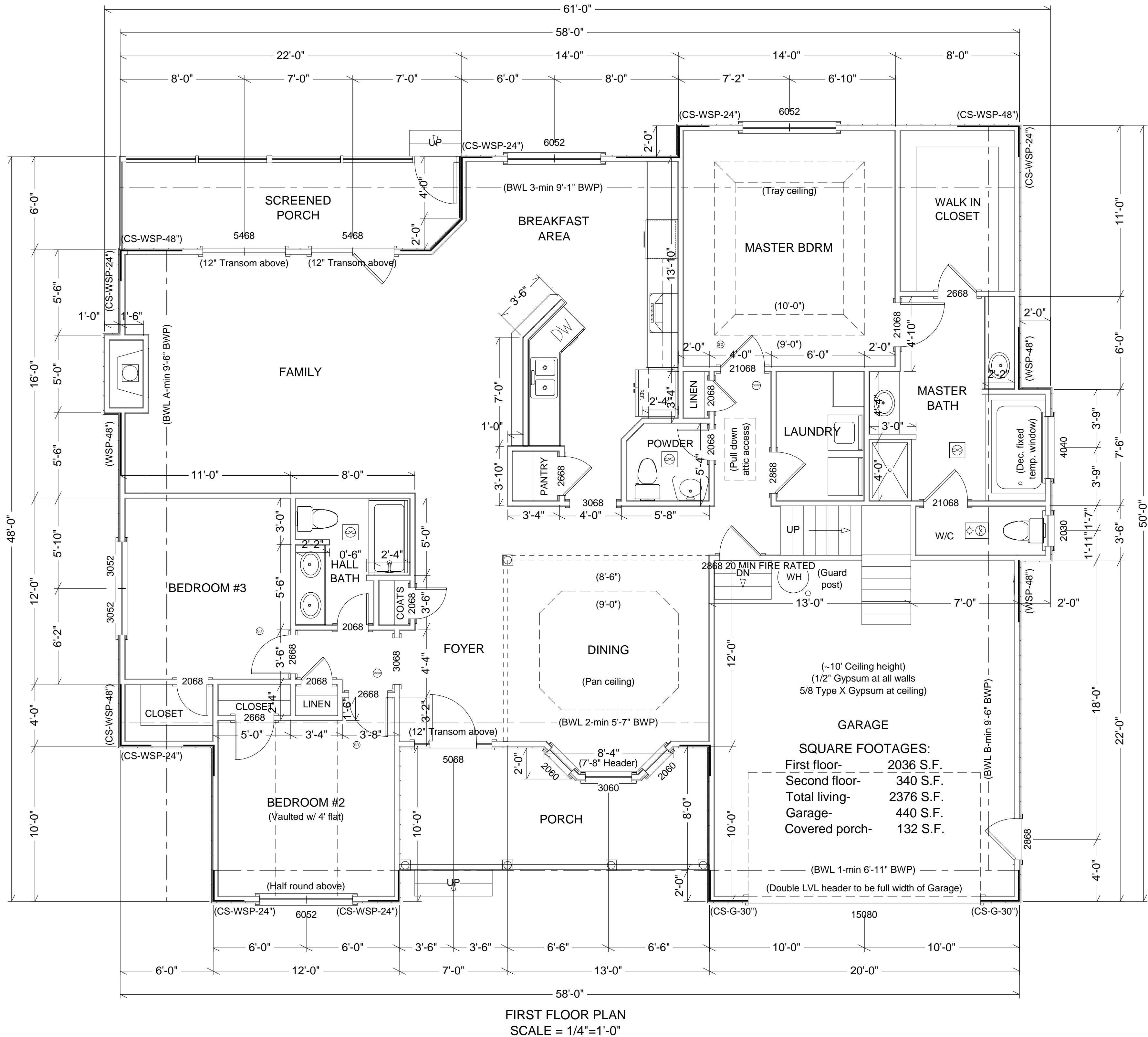
Construction plans for:

Foundation and Roof Vent Plans

CODE COMPLIANCE DATA	
PROJECT TYPE:	Residential
BUILDING CODE:	IRC 2015
USE GROUP:	R-5

*NOTE: Refer to Sheets 4, 5, and 6 for Specifications, Wall Sections and Details.

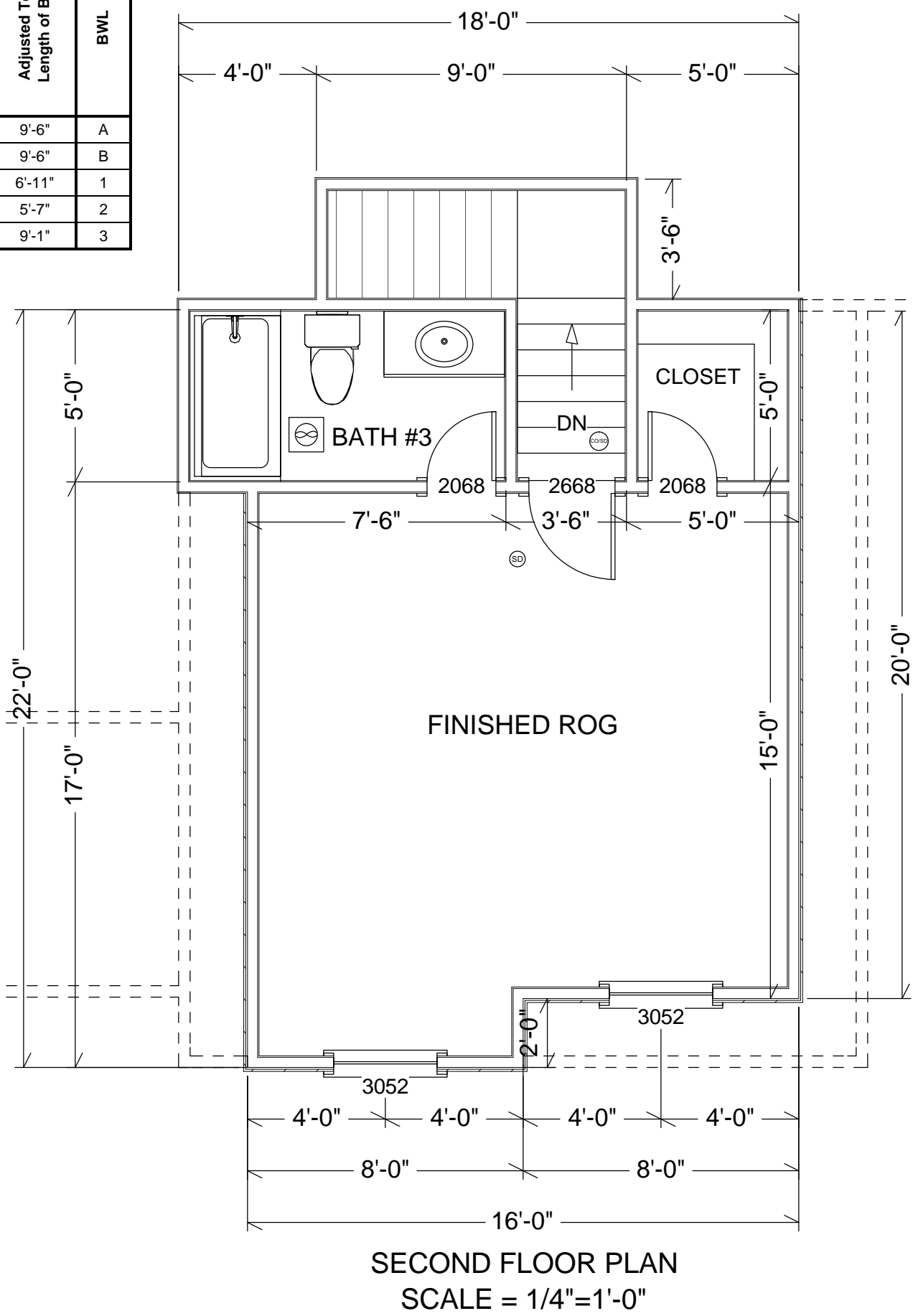
Model:
Burnett Ranch
Date: 04-16-20
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SECTION
NO SCALE

*Braced Wall Note:
All walls use CS-WSP bracing method (unless otherwise noted)
whereas each wall will be continuously sheathed w/ Minimum 24"
return wall panels at each end. The largest adjacent opening is
60" & ceilings are 9' on the first floor and 8' on the second.

2015 IRC Braced Wall Line lengths table											
Date: 4/16/2020											
BWL	Length	Adjustment Factors per table R602.10.3(2)								Adjusted Total Length of BWL	BWL
		(All BWL's use Exposure Category B = A) Factor x1.0)									
		(All BWL use Gypsum board for interior finish)									
		Roof eave-to-ridge height	Wall height adjustment (Ceiling height)	# of BWL (per plan direction)	Inclusion of 800 lb hold-downs						
		CFR 1903.2.1									



Revisions :

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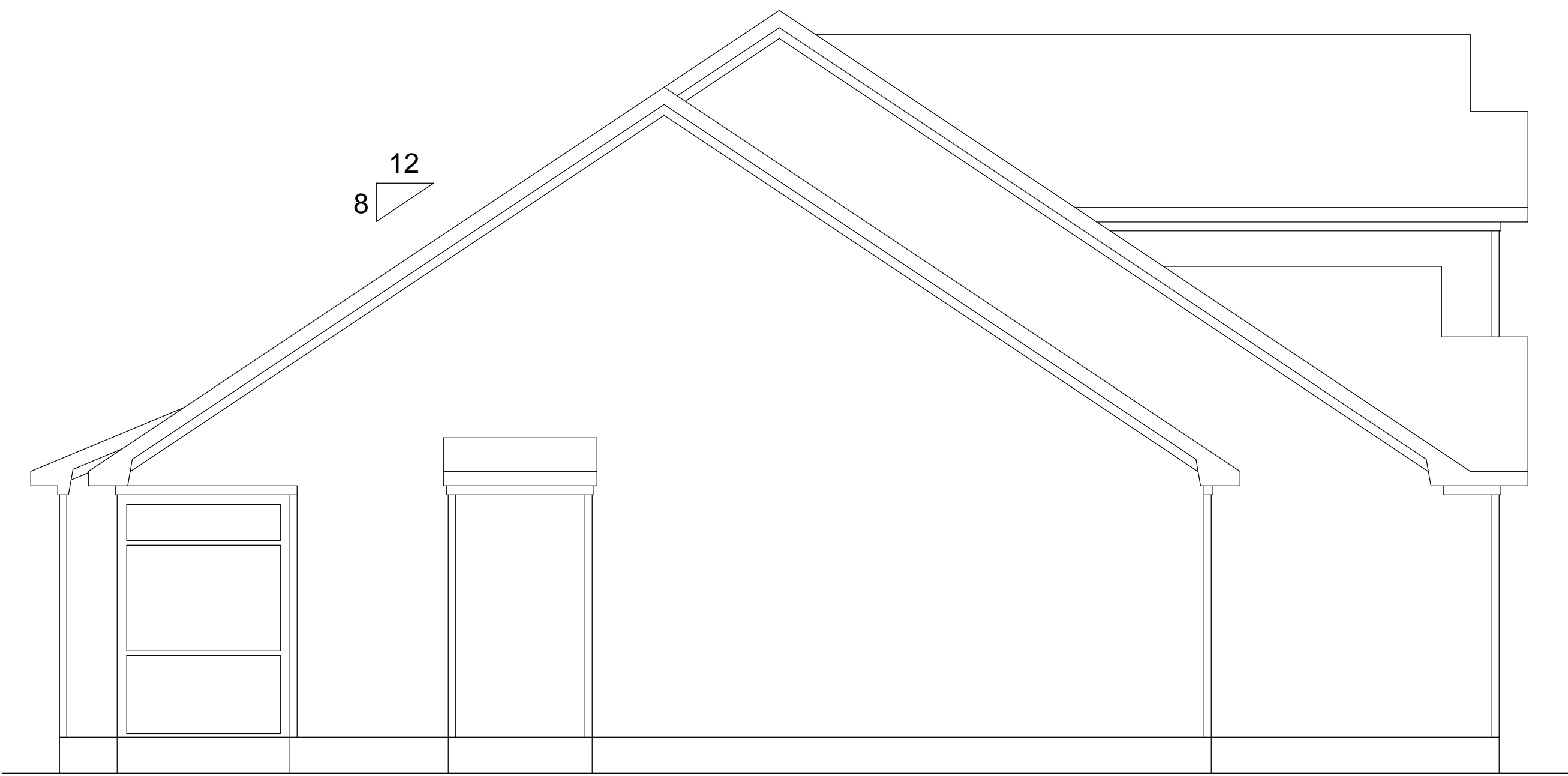
Construction plans for:

Floor Plans

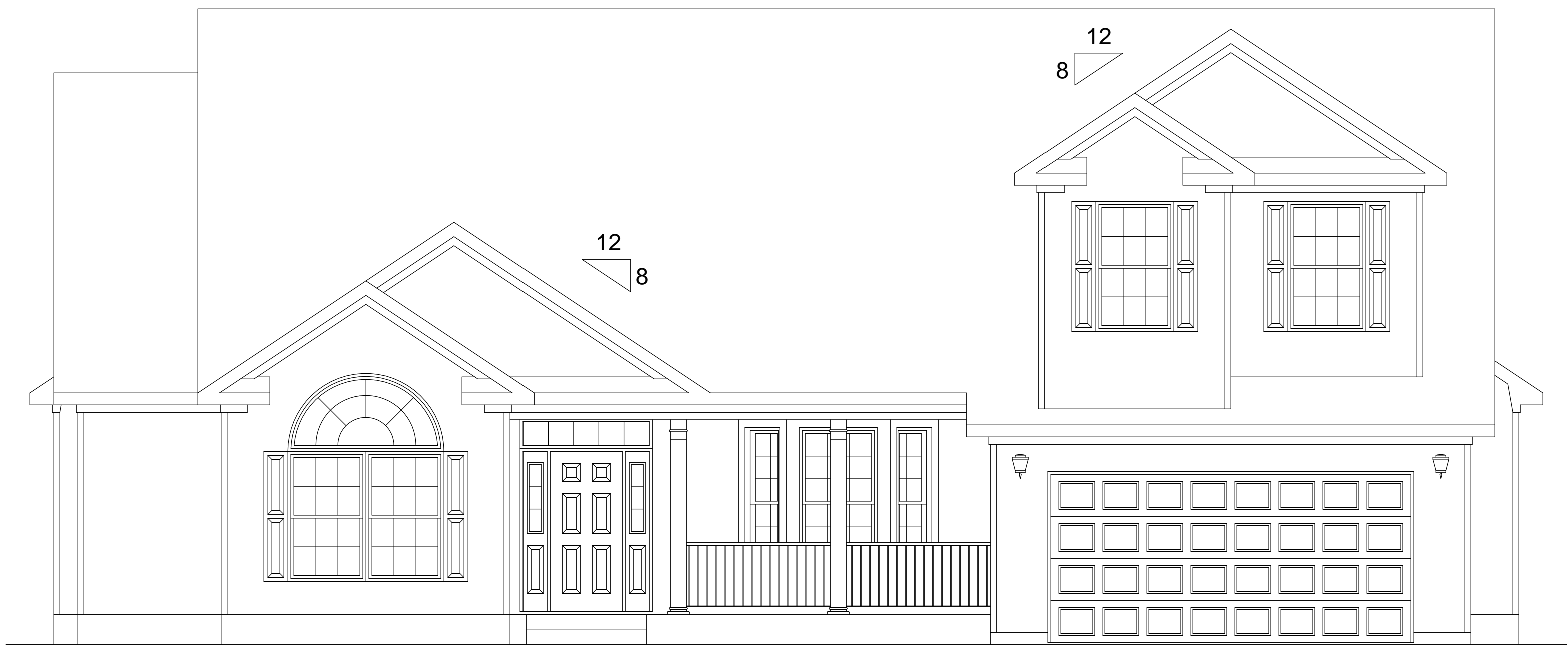
Model:
Burnett
Ranch

Date: 04-16-20

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LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

Revisions :

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Construction plans for:

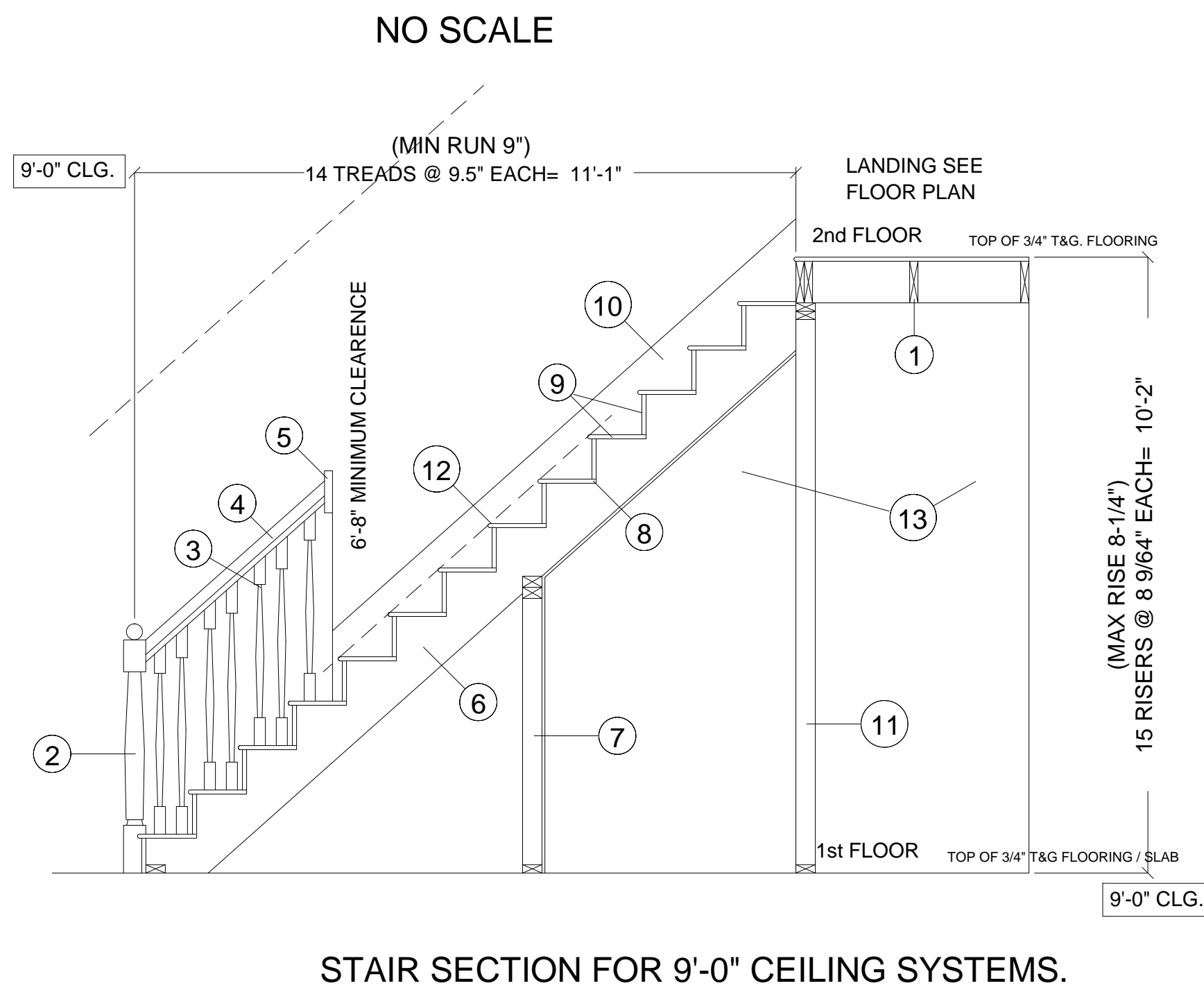
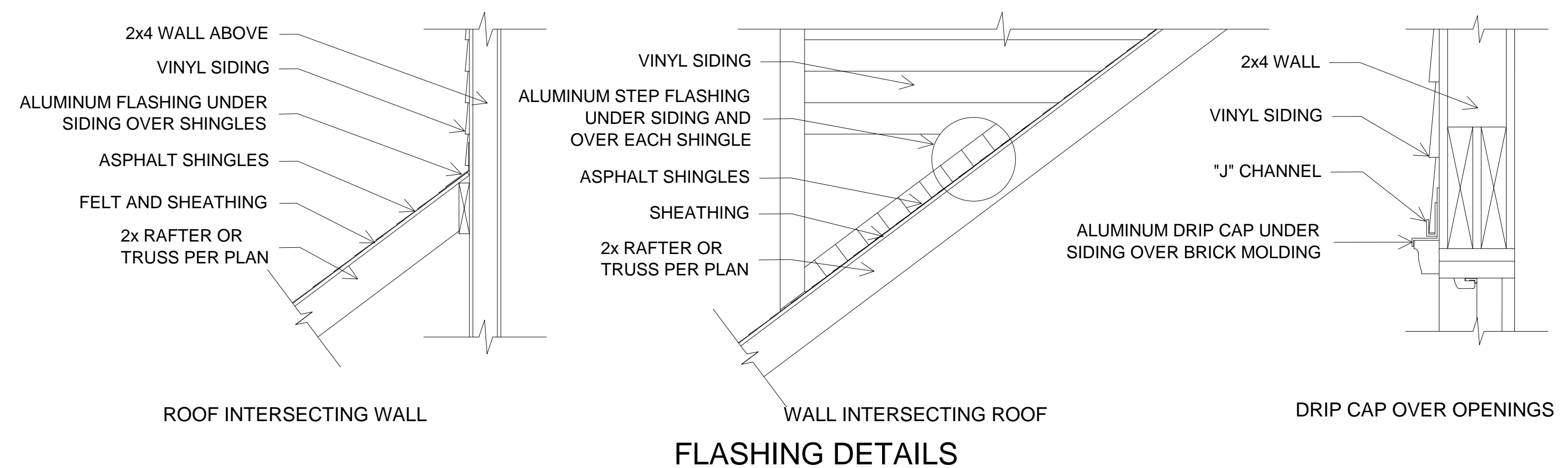
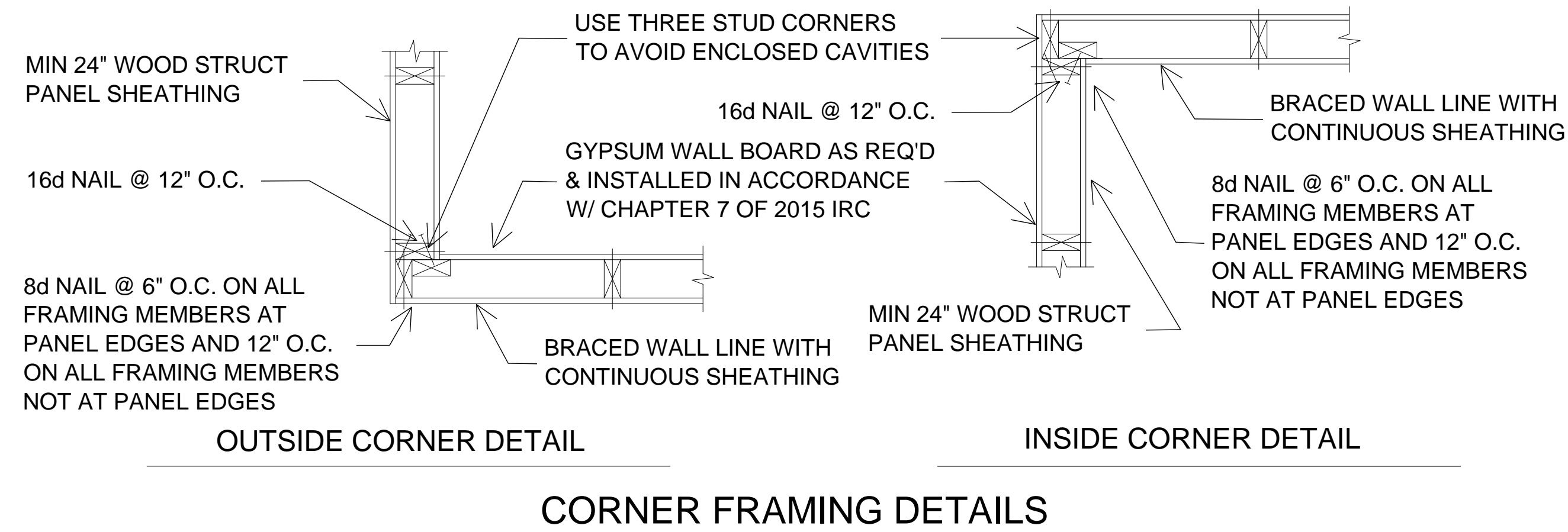
Elevations

Model:
Burnett
Ranch

Date: 04-16-20

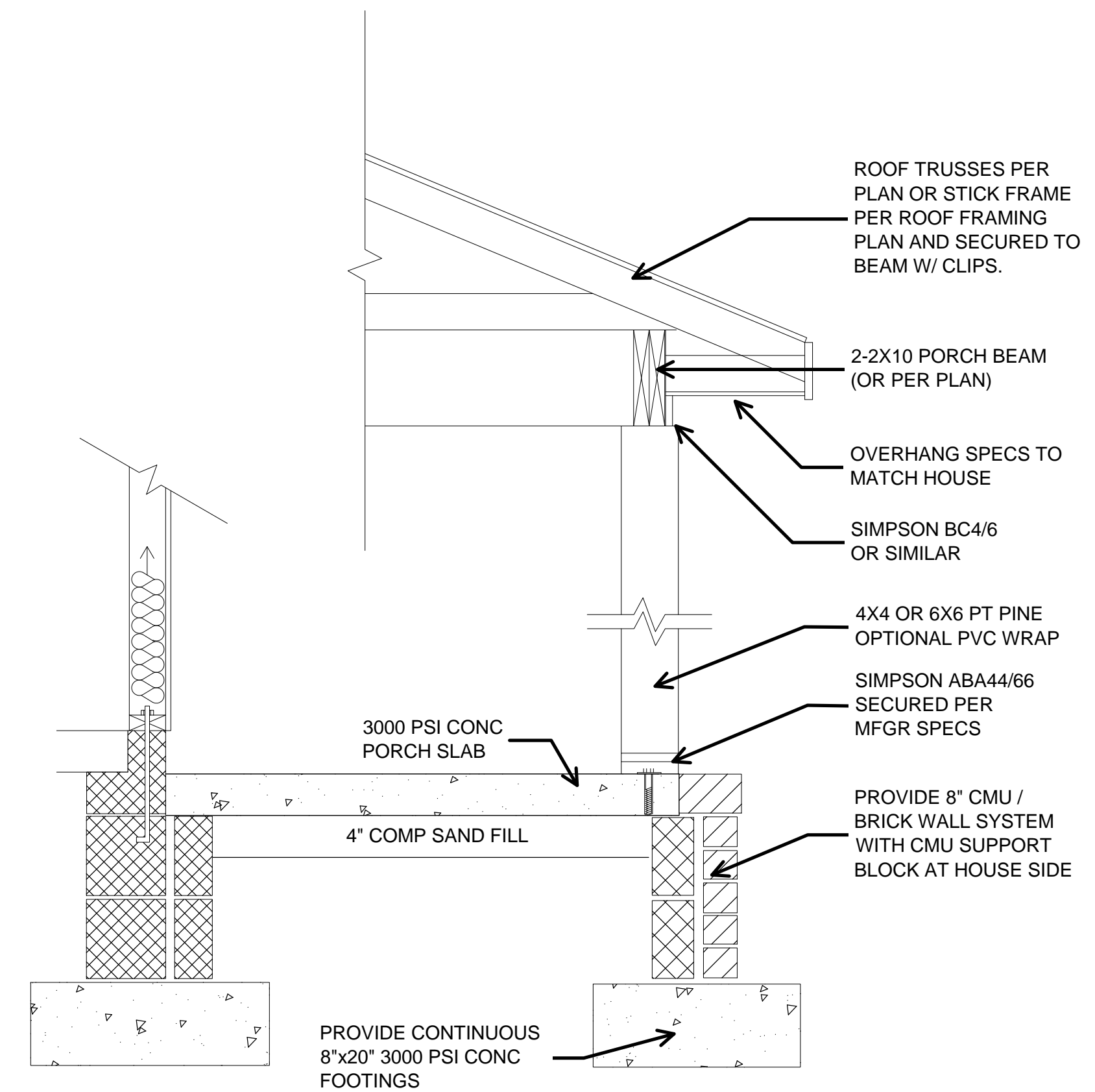
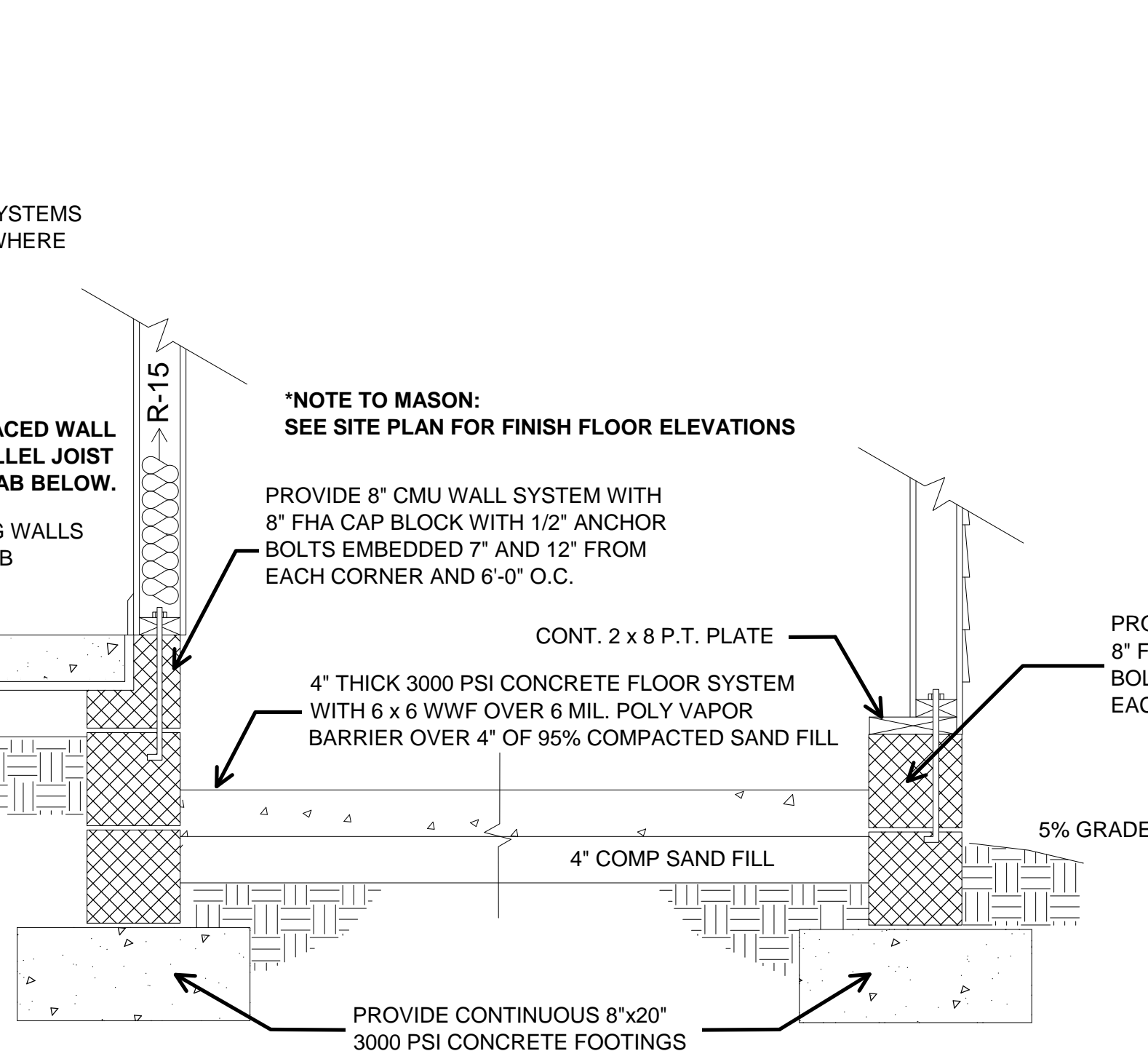
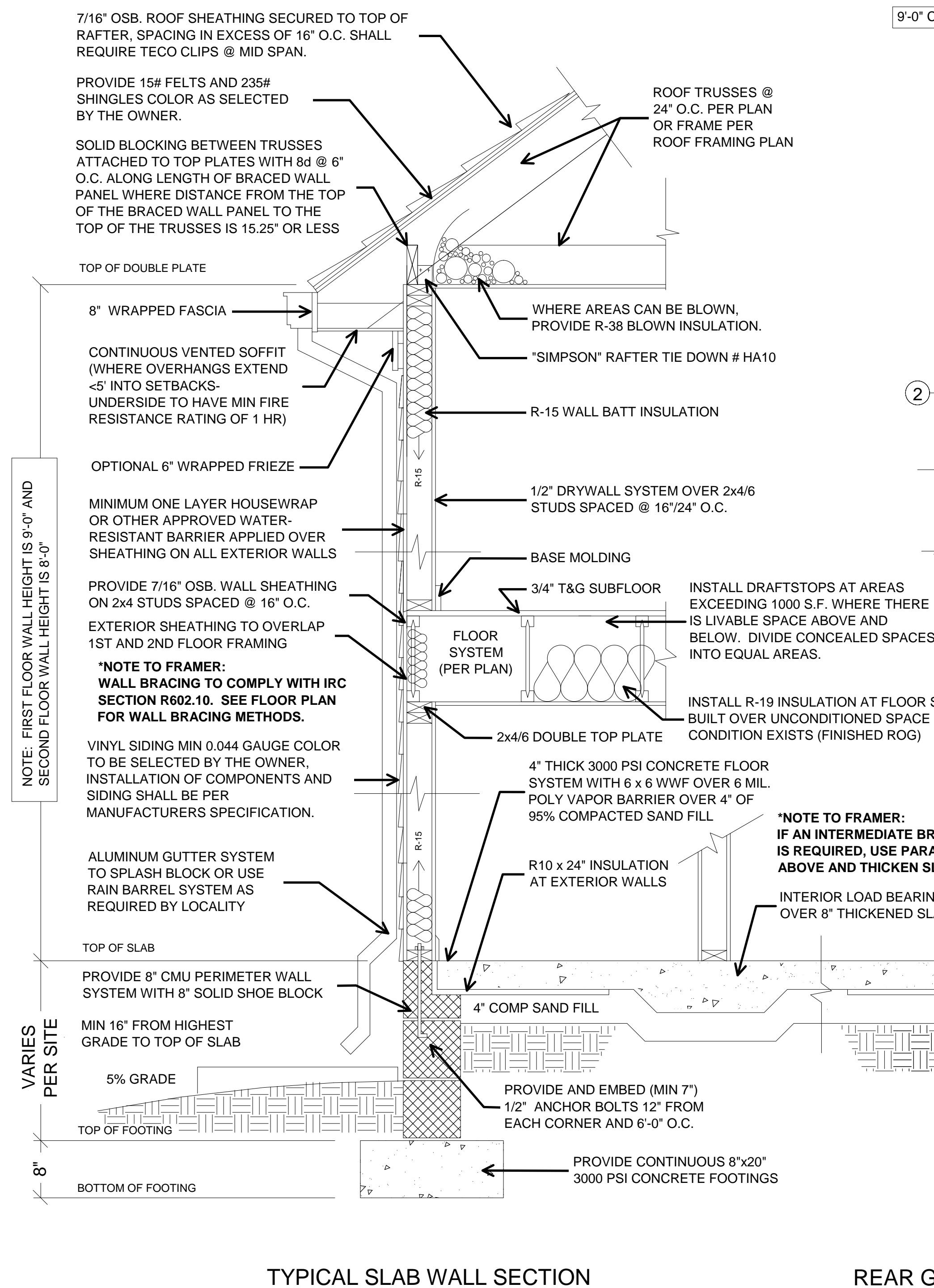
Sheet #

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- STAIR SECTION NOTES:

1. SECOND FLOOR SYSTEM CONSISTING OF 2 x 12 JOISTS PER PLAN.
2. NEWEL OR STARTING POST SECURED TO FIRST RISER AND/OR TREAD AS REQUIRED TO OBTAIN SECURE INSTALLATION DEPENDING ON LAYOUT OF STAIR SYSTEM AND UNIT DESIGN, SEE PLAN.
3. PICKETS SHALL BE PAINTED WOOD OR AS SELECTED BY THE BUILDER, 2 PER TREAD, SPACED SO THAT A 4" SPHERE COULD NOT PASS THROUGH.
4. HANDRAIL SHALL BE OAK OR FINISH HEMLOCK, STAIN COLOR AS SELECTED BY THE OWNER. HEIGHT TO BE BETWEEN 34" AND 38" HIGH.
5. PROVIDE WOOD ROSETTE AT HANDRAIL WHERE IT DIES INTO END WALL.
6. PROVIDE 2x12 STAIR STRINGERS (3 MIN. REQUIRED AT STAIR RUN.)
7. PROVIDE 2x4 MID WALL SUPPORT BELOW STAIR AND IN CLOSET DEPENDING ON CLOSET LAYOUT, SEE PLAN.
8. 2x4 FRAMED KNEEWALL AT 4-1/2" ABOVE TREAD NOSING TO RECEIVE PICKETS AND TO RUN 2" IN FRONT OF BOTTOM RISER WITH 1x8 CAP.
9. PROVIDE 5/4" TREADS AND 3/4" RISERS AT STEPS, CONSULT AWA'S FOR FINISH ON STEPS. (PAINTED/ CARPETED/WOOD STAINED)
10. PROVIDE 1x8 SKIRT BOARD AT WALL.
11. SUPPORT WALL OR HEADER DEPENDING ON STAIR DESIGN CONSULT PLAN.
12. PROVIDE NOSING MIN 3/4" MAX 1-1/4" AT EACH TREAD.
13. SOME STAIR SYSTEMS MAY HAVE INTERMEDIATE LANDING, CONSULT FLOOR PLAN FOR TYPE AND LOCATION. TREAD AND RISERS SHALL STILL BE AS INDICATED ON SECTION.



ALL SECTIONS SCALE: 1" = 1'-0"

			Revisions :
			5-17-19
			8-16-19
			Specifications 2
			Sheet #
			6 of 6

7.04 EXTERIOR WALLS	8.13 EMERGENCY EGRESS EVERY SLEEPING ROOM ABOVE THE FIRST FLOOR SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR FOR EMERGENCY EGRESS OR RESCUE. EGRESS WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISHED FLOOR AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND MINIMUM OPENING WIDTH OF 20". GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT.	15.0 MECHANICAL
7.041 FLASHING- TO BE NERVASTRAL PLASTIC PROVIDED AT BOTTOM AND SIDES OF ALL EXTERIOR DOOR OPENINGS IN SUCH A MANNER TO BE LEAK PROOF.	8.14 ALL OPERABLE WINDOWS SHALL HAVE NONCORROSIVE SCREENS AND SASH LOCKS.	15.01 H.V.A.C. KITCHEN AND BATH VENTILATION METAL DUCTS TO EXTERIOR WHERE INDICATED AND/OR REQUIRED BY APPLICABLE CODES. COMPLETE INSTALLATION CIRCULATING AIR COMBUSTION TO MEET ALL REQUIREMENTS OF THE MANUFACTURER AND THE STATE. SYSTEM SHALL BE SINGLE OR DUAL ZONE STRAIGHT AIR WITH GAS OR ELECTRIC HEAT UNLESS SPECIFIED OTHERWISE.
7.042 FLASH AND COUNTER FLASH- ALL ROOF TO WALL CONDITIONS, MINIMUM NO. 26 U.S. GAUGE CORROSION RESISTANT ALUMINUM STEP FLASHING AS REQUIRED TO MAINTAIN MIN. HEIGHT.	9.0 FINISHES	15.02 PLUMBING SANITARY; COLD AND HOT WATER; AND ALL OTHER PIPING SHALL CONFORM TO THE REQUIREMENTS, LOCAL AND STATE.
7.043 FLASH ALL EXTERIOR OPENINGS AND ALL BLDG. CORNERS WITH APPROVED WATERPROOF BLDG. PAPER TO EXTEND AT LEAST 4" BEHIND WALL COVERING.	9.01 GYPSUM WALLBOARD (PLASTER FINISH / SPRAYED CEILING) SHALL BE INSTALLED IN ACCORDANCE WITH U.S. GYPSUM RECOMMENDATIONS AND SHALL MEET THE REQUIREMENTS OF IRC AND OTHER APPLICABLE CODES. TYPICAL INTERIOR PARTITIONS TO HAVE 1/2" TAPERED EDGE TAPED AND FINISHED. PROVIDE 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD AT GARAGE CEILINGS WHERE CALLED FOR ON THE DRAWINGS, WHICH SEPARATE GARAGE AND LIVING AREAS WHERE REQUIRED BY CODE.	15.3 PROVIDE MINIMUM 21" WALKING SPACE IN FRONT OF ALL PLUMBING FIXTURES IN BATHROOMS AND 14" X 30" ACCESS PANEL AT TUB CONNECTIONS UNLESS OTHERWISE NOTED. ALL SHOWER STALLS SHALL HAVE A MINIMUM OF 30" IN ANY DIRECTION. WATER CLOSETS TO BE A MINIMUM OF 15" FROM SIDEWALLS TO CENTERLINE OF FIXTURE.
7.044 FLASH AND CAULK WOOD BEAMS AND OTHER PROJECTIONS THROUGH EXTERIOR WALLS OR ROOF SURFACES.	9.02 GYPSUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED.	PLUMBING CONTRACTOR SHALL PROVIDE THE FOLLOWING HOOK-UPS FOR WATER AND SANITARY SEWER CONNECTIONS: 1. WATER SERVICES SHALL BE CONNECTED TO CITY SUPPLIED WATER METER AT PROPERTY LINE. 2. SEWER CONNECTION : PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SEWER LINE TO TAP AT ROAD.
7.045 EXTERIOR SHEATHING 7/16" O.S.B. SHEATHING INSTALLED PER MANUFACTURERS SPECIFICATIONS UNLESS NOTED OTHERWISE ON DRAWINGS.	9.03 SUPPORT ALL EDGES AND ENDS OF GYPSUM BOARD SHALL OCCUR ON FRAMING MEMBERS EXCEPT THOSE EDGES PERPENDICULAR TO FRAMING MEMBERS.	16.0 ELECTRICAL SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER CO. AND ALL APPLICABLE LOCAL REGULATIONS. OBTAIN ALL PERMITS AND PAY FEES REQUIRED FOR THIS WORK. HAVE THE INSTALLATION INSPECTED AND APPROVED BY AN INSPECTION AGENCY OF THE FIRE UNDERWRITER'S ASSOCIATION. SUBMIT A CERTIFICATE OF FINAL APPROVAL BY THE INSPECTION AGENCY UPON COMPLETION. FIXTURES AND APPARATUS AS SELECTED BY BUILDER. UNLESS OTHERWISE NOTED.
7.05 FIRESTOPPING - SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) IN THE FOLLOWING LOCATIONS: 1. IN EXTERIOR OR INTERIOR STUD WALLS, AT CEILING AND FLOOR LEVELS AND SO PLACED THAT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACE IS NOT MORE THAN 10'. 2. BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND BETWEEN STUDS IN LINE WITH STAIR RUN. 3. SPACES BETWEEN CHIMNEYS AND WOOD FRAMING SHALL BE FILLED WITH LOOSE NONCOMBUSTIBLE MATERIAL (2" MIN. THICKNESS), PLACED IN NONCOMBUSTIBLE SUPPORTS TIGHTLY FITTED TO THE CHIMNEY. 4. OTHER LOCATIONS NOT MENTIONED ABOVE SUCH AS HOLES FOR PIPES, SLEEVES, BEHIND FRAMING STRIPS AND OTHER SIMILAR PLACES WHICH COULD AFFORD A PASSAGE FOR FLAMES.	9.04 MOISTURE RESISTANT GYPSUM BOARD PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND WHENEVER MOISTURE CONDITIONS CAN EXIST OR AS REQUIRED BY CODE.	16.01 SMOKE DETECTORS ARE REQUIRED AND SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN EACH BEDROOM, AND ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND CELLARS (IF APPLICABLE) BUT NOT IN UNINHABITABLE SPACES. ALL DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND 2015 VRC.
7.051 FIRESTOPS WHEN OF WOOD, SHALL BE MIN. 2" NOMINAL THICKNESS AND MAY ALSO BE MADE OF GYPSUM BOARD, MINERAL WOOL OR OTHER NONCOMBUSTIBLE MATERIAL.	9.05 J. BEAD SHOULD BE USED WITH M.R. GYP. BD. AND WHEREVER MOISTURE CONDITION CAN EXIST.	16.02 CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN DWELLING UNITS WHERE EITHER THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE OR THE DWELLING UNIT HAS AN ATTACHED GARAGE WITH AN OPENING UNIT THAT COMMUNICATES WITH THE DWELLING UNIT. ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM. ALL DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND 2015 VRC.
7.052 DRAFTSTOPPING PROVIDE DRAFT STOPPING WHERE REQUIRED IN ACCORDANCE WITH APPLICABLE CODES.	9.06 CERAMIC TILE CERAMIC TILE SHALL BE GLAZED TILE OF DIFFERING SIZES, THIN SET APPLICATION ON WATER RESISTANT DRYWALL OR CEMENTUOUS BACKER BOARD. WHERE TILE IS TO BE DIRECTLY EXPOSED TO WATER OR HIGH HUMIDITY AREAS SUCH AS BATH TUBS AND SHOWERS, USE ONLY CEMENTUOUS BACKER BOARD. PROVIDE BASE AND MISCELLANEOUS TRIM. PROVIDE MARBLE OR ALUMINUM THRESHOLD FOR TRANSITION BETWEEN CERAMIC FLOOR TILE AND OTHER FLOOR FINISHES. FLOOR TILE SHALL BE NON SLIP. ALL OTHER DECORATIVE TILE WORK SHALL BE SPELLED OUT IN CONTRACT BETWEEN OWNER & CONTRACTOR OR AS INDICATED BY ALLOWANCE.	*SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITHOUT A DISCONNECTING SWITCH AND BE PROVIDED WITH A BATTERY BACKUP.
7.06 VENTILATION - PROVIDE ADEQUATE CROSS VENTILATION (MINIMUM AS REQUIRED BY CODE), FOR ALL CONCEALED ATTIC AND RAFTER SPACES. PROVIDE CROSS VENTILATION AS REQUIRED BY CODE FOR CRAWL SPACES. SEE ROOF PLANS FOR VENT LOCATIONS.	9.07 RESILIENT FLOORING SHALL BE SHEET VINYL, VINYL COMPOSITION TILE, LAMINATE FLOORING OR BETTER AND INSTALLED AS PER MANUFACTURES SPECIFICATIONS AND IN ACCORDANCE WITH ALLOWANCE.	CLEARING OF THE LOT PER SITE PLAN DETAILS
7.07 GUTTERS AND LEADERS - IF APPLICABLE, PRE-FINISHED ALUMINUM LEAD TO SPLASH BLOCKS.	9.08 UNDERLAYMENT PROVIDE SUITABLE FLOOR UNDERLAYMENT FOR ALL CERAMIC TILE AND RESILIENT FLOORING.	BUILDER WILL GRADE AND SEED THE LOT AS REQUIRED TO MAINTAIN A POSITIVE DRAINAGE FOR THE PROPERTY IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS. OWNER SHALL BE MADE AWARE THAT IN INSTANCES OF HEAVY RAIN THE SUBDIVISION WATER RUNOFF MANAGEMENT PLAN SPECIFICALLY RESTRICTS THE WATER FLOW FROM THE PROJECT IN ORDER TO PREVENT SILT RUNOFF INTO LOCAL WATERWAYS. THIS COULD CAUSE LOTS TO TAKE UP TO 24 HOURS TO DRAIN OFF.
7.08 ALL WOOD SHALL BE MINIMUM 8" ABOVE FINISH GRADE OR PRESSURE TREATED LESS THAN 8" ABOVE FINISH GRADE. ALL SIDING SHALL BE MINIMUM 6" ABOVE FINISH GRADE.	9.09 CARPET & HARDWOOD FLOORING ALL CARPET AND HARDWOOD FLOORING ALLOWANCES SHALL BE SPELLED OUT IN CONTRACT PROPOSAL ALLOWANCES.	
7.09 FLASHING - WHEN VENEER OF BRICK, CLAY TILE, CONCRETE OR NATURAL OR ARTIFICIAL STONE ARE USED 30 MIL PLASTIC FLASHING SHALL BE ATTACHED TO THE SHEATHING WHEREVER NECESSARY TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.	9.10 PAINT, INTERIOR	
7.10 ROUGH CARPENTRY CONTRACTORS SHALL SEAL WITH CONSTRUCTION ADHESIVE, PLATES AT FLOOR AND CEILING, AND CAULK ALL WINDOW AND DOOR FLANGES/JAMS AND ALL PANEL BUTT JOINTS PRIOR TO AND DURING ERECTION.	CEILINGS LATEX FLAT, 1 COAT -SPRAYED	
7.11 ALL PIPES, DUCTS, VENTS, WIRING, AND CHASES WHICH PENETRATE CEILINGS DIRECTLY BELOW A TRUSS OR ROOF ASSEMBLY SHALL BE FIRESTOPPED.	WALLS FOR DRYWALL FINISH: LATEX FLAT, 1 COAT -SPRAYED	
8.0 DOORS AND WINDOWS	TRIM 2 COATS - 1ST COAT SPRAYED LATEX FLAT, 2ND COAT SEMI-GLOSS BRUSHED OR SPRAYED OVER FIRST COAT	
8.01 EXTERIOR ENTRANCE DOORS - 1-3/4" SOLID WOOD CORE OR HOLLOW METAL MIN. 20 GAUGE FILLED WITH SOLID SLAB POLYSTYRENE INSULATION PERMANENTLY BONDED TO PANELS. PROVIDE 1-1/2 PAIR HINGES FOR DOORS UP TO 7'-2" IN HEIGHT AND 2 PAIR DOORS TO 80" IN HEIGHT. SEE DRAWINGS FOR RAISED PANEL DESIGN. PROVIDE COMPLETE WEATHER STRIPPING AND METAL THRESHOLD.	GARAGE INTERIOR OF SERVICE DOOR AND INTERIOR CASING (IF PRESENT) ALWAYS TO BE PAINTED ONE COAT (SPRAYED OR BRUSHED). IF GARAGE IS SPECIFIED TO BE PAINTED, LATEX FLAT, 1 COAT (SPRAYED).	
8.02 GARAGE TO HOUSE DOORS - IF APPLICABLE - TO BE 20 MIN. METAL OR SOLID WOOD CORE 1-3/4", FIRE-RATED. SEE PLANS FOR STYLE AND SIZES REQUIRED.	KITCHEN AND BATHROOMS (OPTION)	
8.03 INTERIOR DOORS - TO BE HOLLOW CORE WOOD WITH WOOD VENEER OR PLASTIC LAMINATE FACING.	CEILING LATEX SEMI-GLOSS ON 2ND COAT	
8.04 DOOR SIZES - REFER TO FLOOR PLANS.	WALLS LATEX SEMI-GLOSS ON 2ND COAT	
8.05 OVERHEAD GARAGE DOOR SHALL BE TESTED IN ACCORDANCE WITH ASTM E330 OR ANSI/ DASHA108.	9.11 EXTERIOR PAINT (IF APPLICABLE)	
8.1 WINDOWS ALL WINDOWS TO BE VINYL / PVC AND SELF FLASHING. SIZES AS SPECIFIED ON DRAWINGS. SET BOTTOM OF WINDOWS MIN 18" ABOVE FINISHED FLOOR. ALL WINDOWS TO HAVE A MINIMUM DESIGN PRESSURE RATING OF +/- 25 PSF AND MAX 0.35 FENESTRATION U-FACTOR.	TRIM LATEX (1) COAT PRIME (1) COAT FINISH. SAND BETWEEN COATS AS NECESSARY.	
8.11 GENERAL GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS ENTRY DOORS AND SIDELIGHTS, SLIDING GLASS DOORS, SHOWER DOORS, TUB ENCLOSURES AND STORM DOORS SHALL BE FULLY TEMPERED IN ACCORDANCE WITH THE IRC CODE. FIXED PANELS WITH AREA IN EXCESS OF 9 SQ. FT. WITH THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISHED FLOOR OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING UNLESS A HORIZONTAL MEMBER NOT LESS THAN 1 1/2" WIDTH LOCATED BETWEEN 24" AND 36" ABOVE THE WALKING SURFACE SHALL BE FULLY TEMPERED. SEE R308 IN 2009 IRC FOR EXCEPTIONS TO HAZARDOUS LOCATIONS. IF APPLICABLE.	*BUILDER MAY CHOSE TO METAL WRAP EXPOSED WOOD AT EXTERIOR TRIM OR LEAVE NATURAL ANY PT WOOD.	
8.12 WEATHER PROOFING ALL SWINGING DOORS AND WINDOWS OPENING TO THE EXTERIOR SHALL BE FULLY WEATHERSTRIPPED, CAULKED, OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION. PROVIDE MAXIMUM AIR INFILTRATION AS FOLLOWS: 1. WINDOWS SHALL HAVE AN AIR INFILTRATION RATE OF LESS THAN 0.5 CFM PER FOOT OF SUCH CRACK.	10.0 SPECIALTIES	
	10.01 BATH VANITIES - AS SELECTED BY (OWNER) OR AS PER ALLOWANCE	
	10.02 BATH FIXTURES - AS SELECTED BY (OWNER) OR AS PER ALLOWANCE	
	11.0 EQUIPMENT ALL APPLIANCES ALLOWANCES SHALL BE SPELLED OUT IN BASE CONTRACT AS PROVIDED BY THE BUILDER.	
	12.0 FURNISHINGS NONE	
	13.0 SPECIAL CONSTRUCTION PER CONTRACT (IF APPLICABLE) OWNER TO SUPPLY THE FOLLOWING UNITS TO BE INSTALLED BY THE CONTRACTOR :	
	14.0 CONVEYING SYSTEMS NONE	