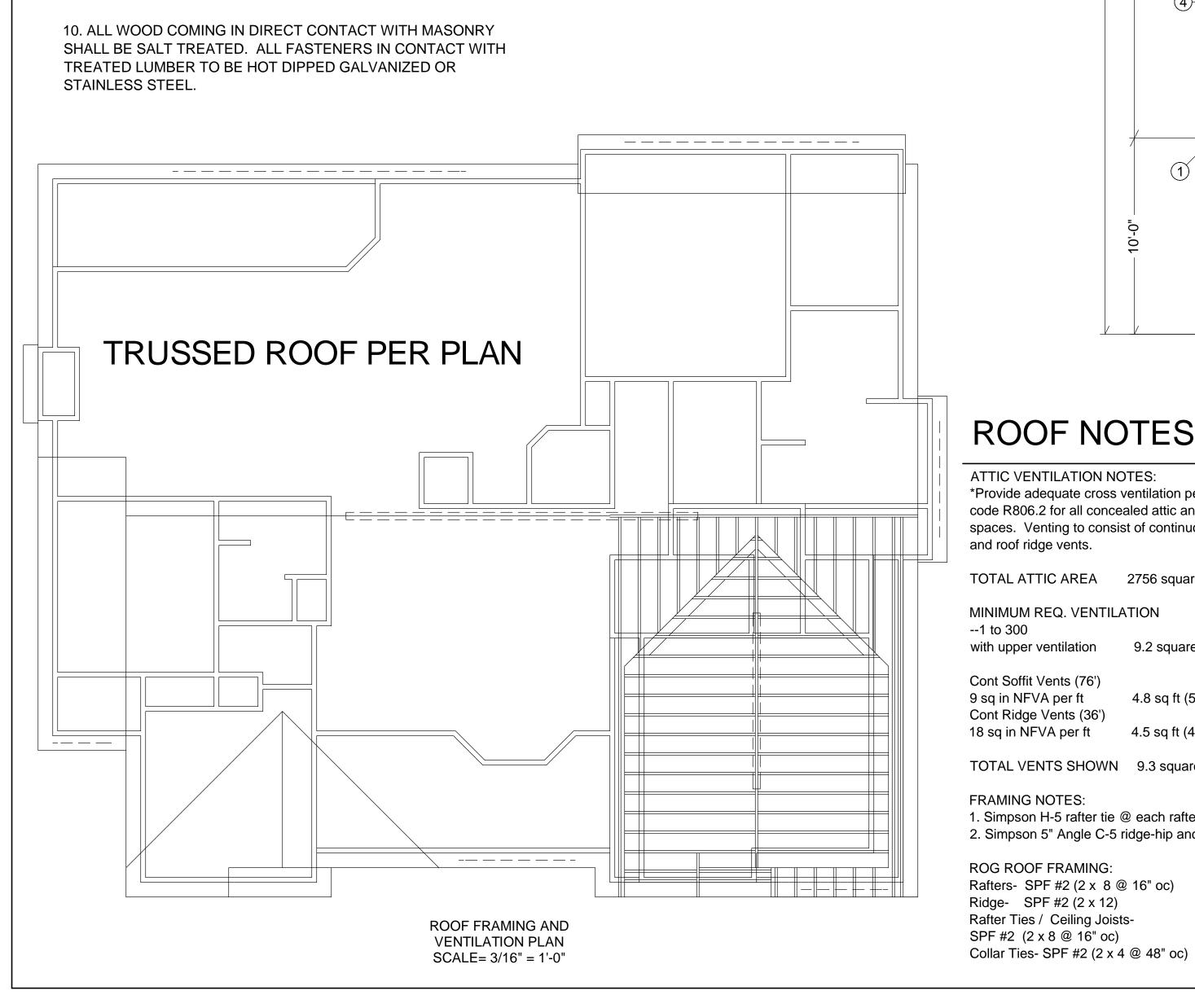
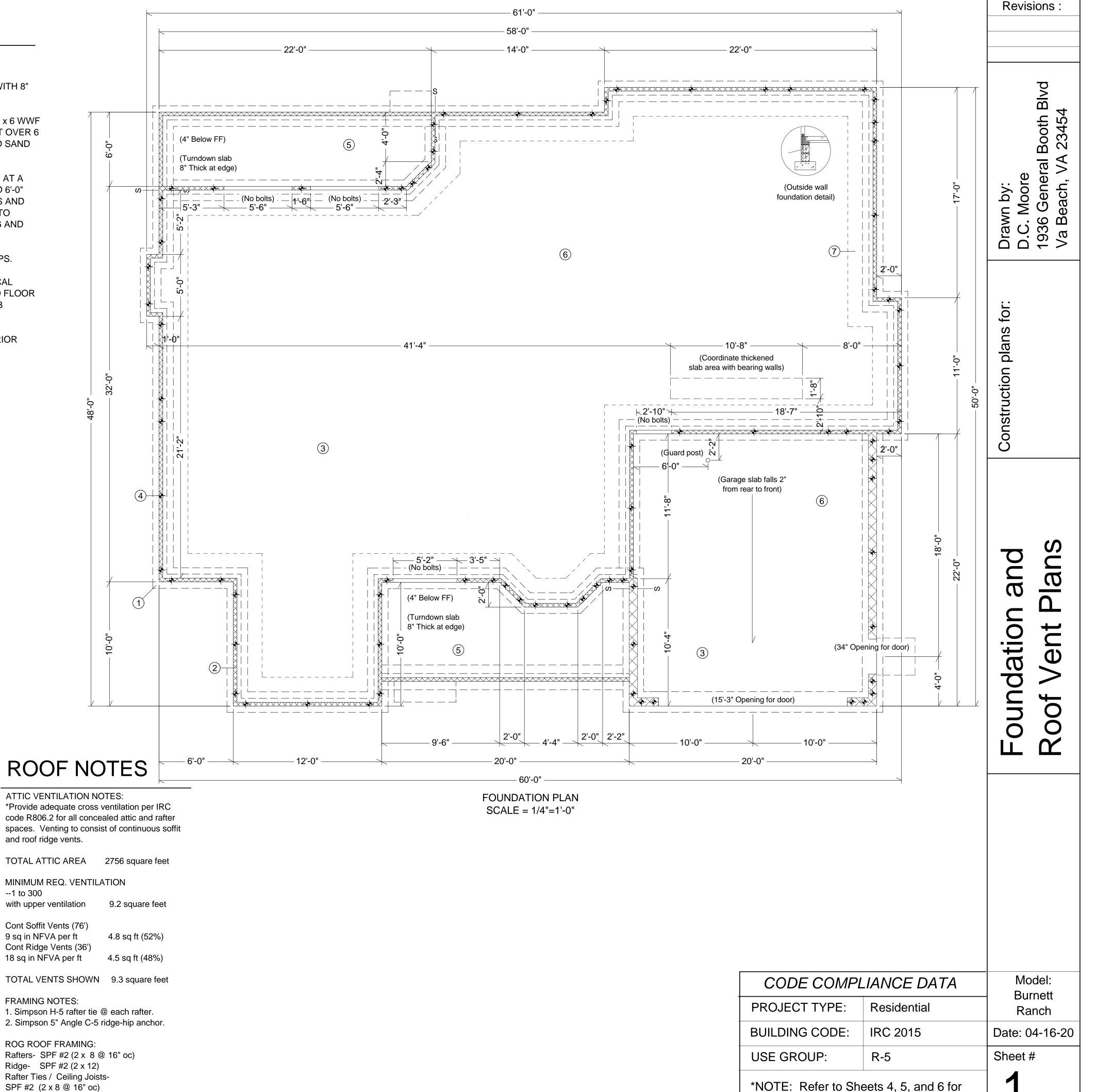
# FOUNDATION NOTES

- 1. CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR CONTROLLED FILL CAPABLE OF SUPPORTING A DESIGNED SOIL PRESSURE OF A MIN. OF 1500 PSF.
- 2. CONCRETE FOOTING SHALL EXTEND AT LEAST 12" INTO UNDISTURBED SOIL AND FOOTING BOTTOM SHALL BE A MIN. 16" BELOW FINISH GRADE. SEE ENGINEERING SITE PLAN FOR FINISH FLOOR GRADE ELEVATION TO DETERMINE FOOTING DEPTH.
- 3. ALL FOOTING ELEVATIONS ARE MAXIMUM AND SHALL BE LOWERED AS NECESSARY TO OBTAIN THE DESIGN BEARING PRESSURE OR TO MAINTAIN ADEQUATE COVER OVER THE FOOTINGS.
- 4. ANY EARTH FORMED FOOTINGS SHALL CONFORM TO THE SHAPE, LINES AND DIMENSIONS OF FOOTING DETAILS AS INDICATED ON FOUNDATION PLAN.
- 5. CONCRETE FOOTINGS THAT WHERE DUG PRIOR TO FOUNDATION POUR WHICH CONTAIN WATER SHALL HAVE ALL WATER REMOVED FROM FOOTING BEFORE MAKING POUR.
- 6. CONCRETE FOR FOOTINGS AND SLAB AREAS SHALL OBTAIN A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS.
- 7. ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM STANDARDS A-615 GRADE 60.
- 8. CONTROLLED FILL UNDER SLABS AND FOOTINGS SHALL BE PLACED IN 8" LOOSE LIFTS AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUN DRY DENSITY IN ACCORDANCE ASTM D-1557.
- 9. SUBCONTRACTORS SHALL FIELD CHECK AND VERIFY DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER.

# DRAWING NOTES

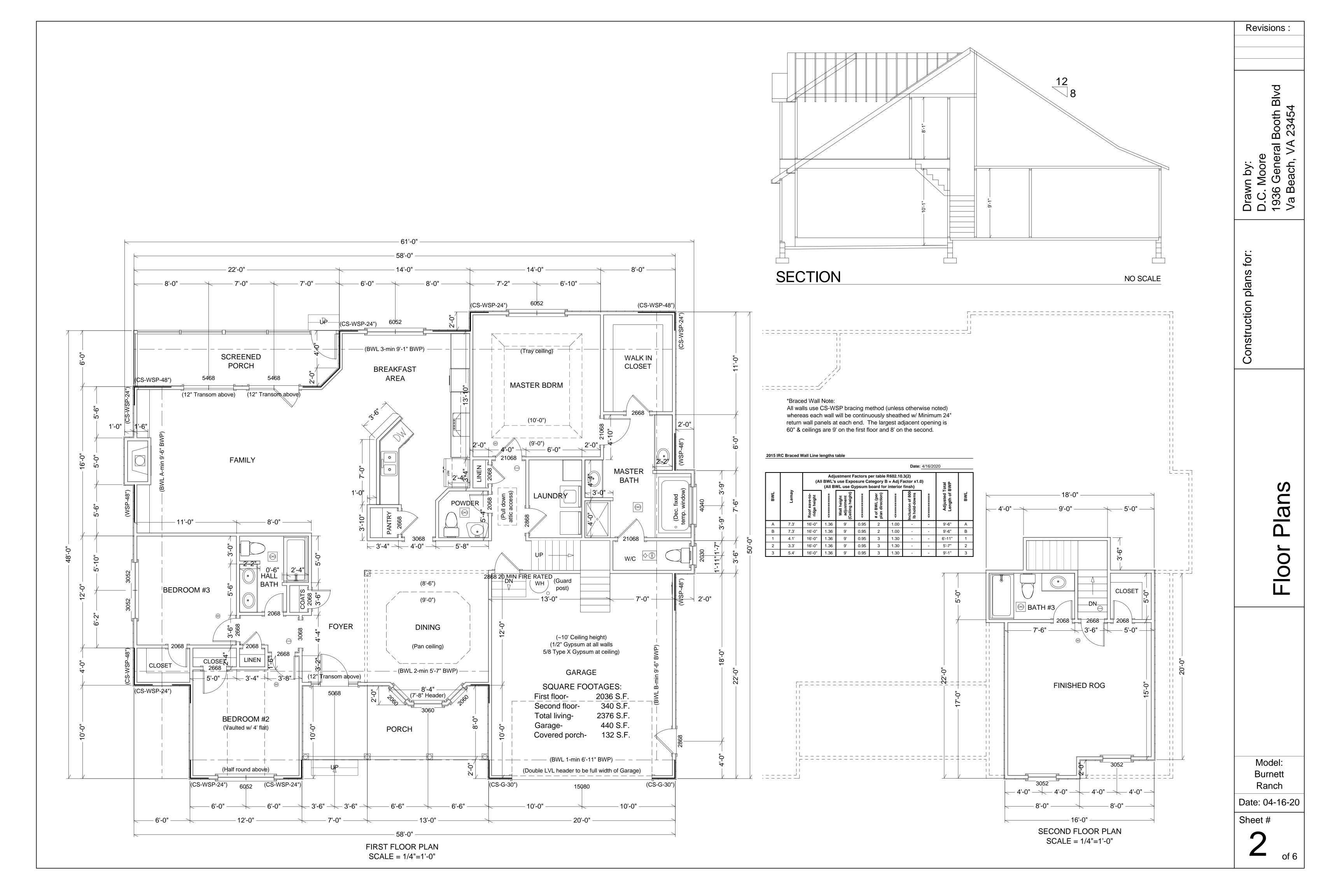
- 1. DOTTED LINE INDICATES 20"x8" THICK FOOTING.
- 2. LOCATION OF 8"x16" CMU PERIMETER WALL SYSTEM WITH 8" SHOE CAP. SEE DETAILS (TYP.)
- 3. 4" THICK (3000 PSI) CONCRETE FLOOR SYSTEM WITH 6 x 6 WWF 2" FROM TOP OF SLAB OR FIBERGLASS REINFORCEMENT OVER 6 MIL. POLY VAPOR BARRIER OVER 4" OF 95% COMPACTED SAND FILL. GARAGE SLABS ARE NOT INSULATED.
- 4. PROVIDE 1/2" DIA. x 10" LONG ANCHOR BOLTS SPACED AT A MIN 12" FROM EACH CORNER AND END OF 14' PLATE AND 6'-0" O.C. MASONRY SUBCONTRACTOR SHALL REVIEW PLANS AND SECTIONS IN ADDITION TO FOUNDATION DRAWINGS AS TO DETERMINE LOCATION OF DOOR AND WINDOW OPENING AND ANCHOR BOLT LOCATIONS AND REQUIREMENTS.
- 5. PROVIDE EXTENDED FOOTINGS FOR PORCH AND STEPS.
- 6. CONTRACTOR SHALL VERIFY LOCATION OF MECHANICAL EQUIPMENT, WELL, PUMP, ALL PLUMBING STUB UPS AND FLOOR DRAINS IN SLAB PRIOR TO POURING OF CONCRETE SLAB SYSTEM AND START OF FRAMING.
- 7. PROVIDE R-10 x 24" PERIMETER INSULATION AT EXTERIOR WALL LOCATIONS

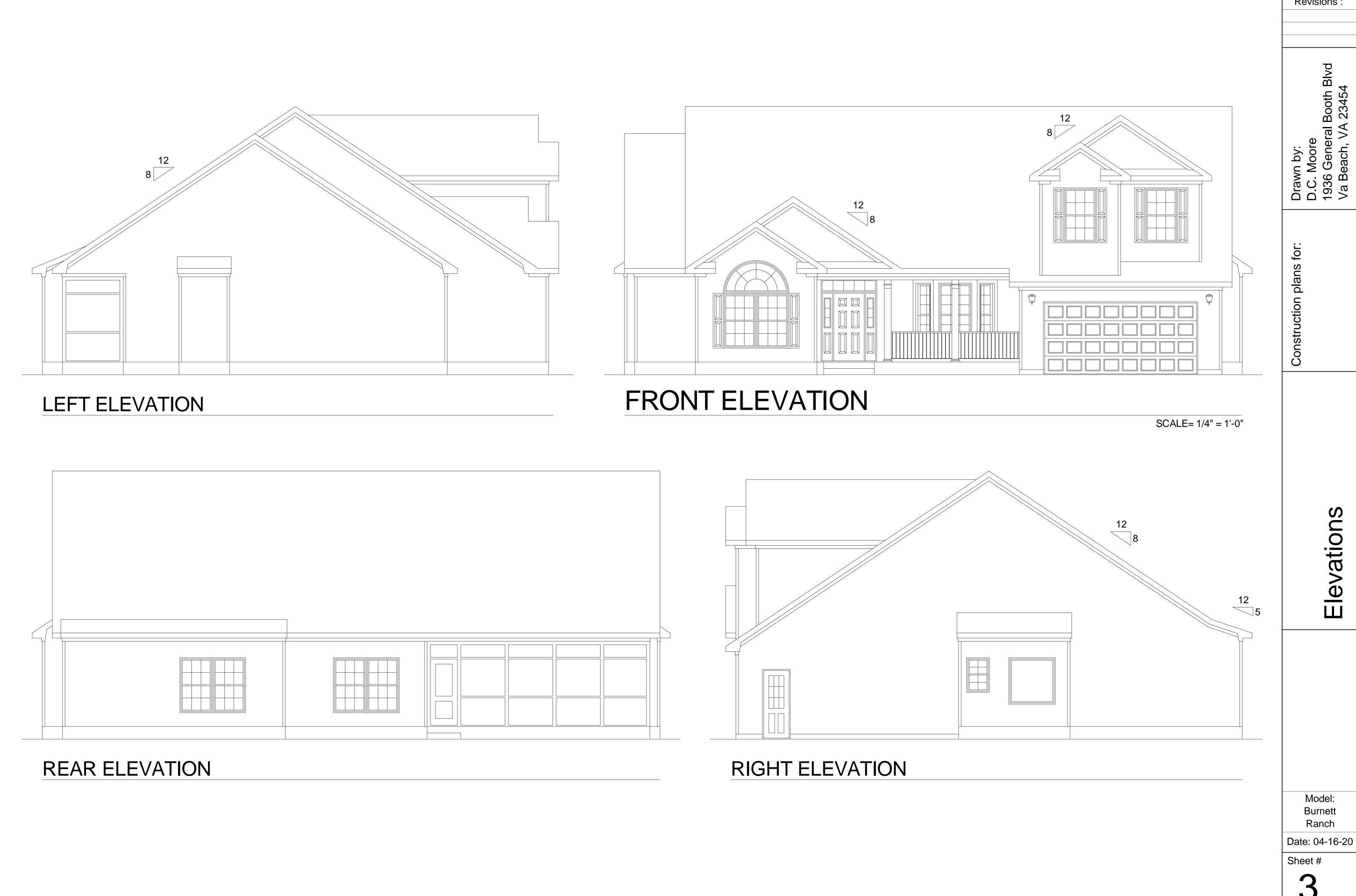




Specifications, Wall Sections and Details.

of 6





Revisions:

#### 1.03 FIELD CONDITIONS AND DIMENSIONS

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE BUILDER SHALL BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES IN INFORMATION AND OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND INFORMATION ON THE DRAWINGS PRIOR TO CONSTRUCTION.

#### 1.04 TYPICAL CONDITIONS

THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS INDICATED OTHERWISE. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN OR DETAILED. THE CHARACTER AND QUALITY OF THE WORK SHALL BE THE SAME AS THAT INDICATED FOR SIMILAR CONDITIONS.

#### 1.05 DRAWING COORDINATION

THE CONTRACTOR SHALL COORDINATE AND COMPARE ALL DRAWINGS BETWEEN THE DIFFERENT TRADES AND SHALL PROMPTLY NOTIFY THE SUPERINTENDENT OF ANY DISCREPANCIES WHICH MAY BE FOUND.

#### 1.06 STRUCTURAL NOTES

IN CASE OF ANY DISCREPANCIES BETWEEN THESE NOTES AND NOTES ON THE STRUCTURAL DRAWINGS THE STRUCTURAL NOTES SHALL TAKE PRECEDENCE.

#### 1.07 TEMPORARY BRACING

USE TEMPORARY BRACING AS REQUIRED TO STABILIZE FOUNDATION AND BASEMENT WALLS IF REQUIRED AND SUPERSTRUCTURE UNTIL PERMANENT CONSTRUCTION IS IN PLACE.

#### 1.08 LIVE LOADS

ALL FRAMING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING LOADS:

BEDROOM AREAS	30 PSF	STAIRS	40 PSI
LIVING AREAS	40 PSF	RAILINGS	50 PSI
BALCONIES, DECKS	40 PSF	ROOF	20 PS
GARAGES	50 PSF	<b>SNOW LOAD</b>	15 PS
<b>BASEMENT WALLS</b>	45 PSF	ATTIC FLOOR	20 PS
WIND LOAD	120 MPH	3 Sec gust (EXF	P "B")
		- '	•

MECHANICAL UNITS AND ANY OTHER EQUIPMENT WITH WEIGHTS SHOWN IN PLAN AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ANY ADDITIONAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE SUPT'S ATTENTION PRIOR TO INSTALLATION.

THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

## 1.11

PRODUCT LITERATURE AND MANUFACTURER'S RECOMMENDATIONS COMPLY WITH THE MANUFACTURERS OR FABRICATORS INSTRUCTIONS OR RECOMMENDATIONS FOR THE PREPARATION OF SUBSTRATES AND INSTALLATION AND USE OF MATERIAL.

## 1.12 TREATMENT FOR TERMITE CONTROL

E.P.A. APPROVED TERMITE INTERCEPTION TO 2' BEYOND PERIMETER LINE OF

## 1.13 FIRE RATED ASSEMBLIES

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS TO VERIFY AND CONSTRUCT ALL RATED ASSEMBLIES TO COMPLY EXACTLY WITH THE REQUIREMENTS OF THE TEST REPORTS LISTED. THE BUILDER SHALL BE NOTIFIED PROMPTLY OF ANY CHANGE IN MATERIALS. ALL FIRE RATED ASSEMBLIES ARE CONTINUOUS UNLESS OTHERWISE NOTED. ASSEMBLY MATERIALS SHALL TAKE PRECEDENCE OVER MATERIALS SPECIFIED IN THESE DRAWINGS.

## 1.14

MECHANICAL/PLUMBING/ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL HORIZONTAL AND VERTICAL PENETRATIONS IN THE EXTERIOR WALL CAUSED BY THEIR TRADE.

ALL SHEATHING PENETRATIONS CAUSED BY ERECTION SHALL BE PATCHED AND REPAIRED ACCORDING TO MANUFACTURED SPECIFICATIONS.

# EACH SUBCONTRACTOR FOR THEIR TRADE IS RESPONSIBLE TO LOCATE AND PROVIDE NECESSARY STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SLEEVES,

ANCHORS, VENT OPENING, ETC. THAT MIGHT BE REQUIRED.

## 2.0 SITE WORK

SEE SITE PLAN ATTACHED FOR DRIVE-WAY REQUIREMENTS, WALKS AND LANDSCAPE REQUIREMENTS FOR PROPERTY.

## 2.01 EXCAVATION

SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FOR FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON FROZEN EARTH. NO FOOTINGS SHALL BE PLACED ON SOFT MATERIAL

## 2.02 BACKFILL AND COMPACTION-

USE ONLY CLEAN, WELL GRADED EARTH CONTAINING NO ORGANIC MATERIAL, TRASH, MUCK, ROOTS, LOGS, STUMPS, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINE THE ASTM d698 STANDARD PROCTOR TEST.

## 2.03 FOUNDATIONS-

ALL FOUNDATIONS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL NOT LESS THAN 1'-O" BELOW EXISTING GRADE OR 2'-6" BELOW ADJACENT FINISHED EXTERIOR GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS. MAINTAIN 1:2 SLOPE (VERTICAL TO HORIZONTAL) FROM BOTTOM EDGE OF FOOTING TO BOTTOM OF ANY ADJACENT FOUNDATION. SOIL BEARING VALUE ASSUMED TO BE 1,500 PSF MINIMUM UNLESS OTHERWISE NOTED ON DRAWINGS. THE BUILDER IS TO BE NOTIFIED IMMEDIATELY SHOULD INSUFFICIENT BEARING CAPACITY OR HIGH WATER TABLE BE ENCOUNTERED.

#### 2.04 INSPECTIONS-

FOOTING EXCAVATIONS SHALL BE INSPECTED BY THE BUILDING OFFICIAL PRIOR TO THE PLACING OF ANY CONCRETE. THE BUILDING OFFICIAL SHALL BE GIVEN NOTICE FOR THIS INSPECTION.

#### 3.0 CONCRETE-

SHALL REACH MINIMUM COMPRESSIVE STRENGTH OF (Fc) (SEE TABLE BELOW). ALL CONCRETE TO BE IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

#### MINIMUM SPECIFIED COMPRESSIVE STRENGTH TO CONCRETE (1)

TYPE OR LOCATION OF CONCRETE CONSTRUCTION WEATHERING POTENTIAL MODERATE BASEMENT WALLS AND FOUNDATION NOT EXPOSED TO THE WEATHER	MINIMUM SPECIFIED COMPRESSIVE STRENGTH (FC) 3,000
INTERIOR SLABS ON GRADE EXCEPT GARAGE FLOOR SLABS	2,500
FOUNDATION WALLS, EXTERIOR WALLS, AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3,000
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	3,000

#### (1) STRENGTH AT 28 DAYS PSI

#### 3.01 REINFORCING RODS- (IF REQUIRED)

SHALL CONFORM TO ASTM A-615 GRADE 60 WWF SHALL CONFORM TO ASTM A-185, MESH 6X6, WI.4X W1.4 PROVIDE REINFORCING IN FOOTINGS AS INDICATED ON DRAWINGS. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS.

ALL REINFORCING STEEL MARKED "CONTINUOUS" SHALL BE LAPPED 36 BAR DIAMETERS AT SPLICES AND AROUND CORNER OR INTERSECTION WITH A STANDARD 90 DEGREE BEND ON CORNER BARS. LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.

#### 3.02 SLABS ON GRADE-

4" THICK WITH FIBER-MESH FIBERS IN SLAB OR WWF, SLABS POURED ON 6 MIL POLY. FILM VAPOR BARRIER ON MINIMUM 4" SAND FILL, OVERLAP JOINTS OF BARRIER 12" SEAL OR TAPE PENETRATIONS BY PLUMBING AND AVOID PUNCTURING OF FILM. SEAL EDGES TO FOUNDATION

AREAS OF CONCRETE SLAB SHALL BE DEPRESSED THICKENED SLAB SYSTEMS TO RECEIVE BEARING WALLS, SEE WORKING DRAWING DETAILS.

SLAB INSULATION SHALL BE R-10 (2") FOAM TYPE EXTENDED INTO LIVING AREA MINIMUM 2'-0" THE ENTIRE PERIMETER OF FLOOR SLAB SYSTEM. SEE DETAILS.

#### 4.0 MASONRY

### 4.01 CONCRETE MASONRY UNITS (CMU)-

TO BE ASTM C- 90 GRADE A FOR LOAD BEARING MASONRY. SOLID BLOCK ASTM C- 145 GRADE B. MINIMUM NET COMPRESSIVE STRENGTH 2,000 PSI.

## 4.02 MORTAR TYPE-

TO BE ASTM C-270 TYPE COMPRESSIVE STRENGTH 2,000 PSI.

## 4.03 MASONRY REINFORCEMENTS

A. HORIZONTAL REINFORCEMENTS- DURAWIRE AT 16" O.C. VERTICALLY (NO REINFORCING REQUIRED ON WALLS LESS THAN 4 COURSES HIGH).

PROVIDE MINIMUM 8" DEEP BELOW ALL CONCENTRATED LOADING CONDITIONS.

## 4.04 SOLID MASONRY-

COURSES UNDER ANY STEEL BEAM WHERE APPLICABLE.

TOP COURSES OF BLOCK FOUNDATION WALLS SHALL BE FILLED OR SOLID INCLUDING THE

## 4.05 LINTELS-

SUPPORTING MASONRY VENEER SHALL BE GALVANIZED OR COATED WITH A RUST INHIBITIVE PRIMER AND SIZED FOR WALL OPENINGS SHALL BE AS FOLLOWS:

ONE STORY ABOVE
3 x 3 x 1/4 TO 4'-6" LENGTH
4 x 3 x 1/4 TO 6' LENGTH
5 x 3-1/2 x 5/16 TO 8' LENGTH
6 x 3-1/2 x 5/16 TO 9'-6" LENGTH
2-6 x 3-1/2 x 5/16 TO 12' LENGTH

## 4.06 MASONRY VENEER CONSTRUCTION-

CONTRACTOR MAY CHOOSE TO INSTALL BRICK VENEER WITH GALV. MASONRY WALL TIES

SPACED AT 24" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY. IT SHALL BE THE RESPONSIBILITY OF THE MASONRY CONTRACTOR TO ASSURE THE PROPER INSTALLATION OF ALL FOUNDATION VENTS AND ACCESS DOORS AND TO PROVIDE FINAL CLEANING OF BRICK VENEER.

## 5.0 METALS

5.01 FOUNDATION ANCHOR BOLTS OR APPROVED GALVANIZED TIE DOWNS SHALL BE PROVIDED AT MAXIMUM 6'-O" O.C. INTERVALS AND PLACED 12" FROM THE END OF EACH SECTION WITH MINIMUM TWO ANCHOR BOLTS PER SECTION OF WALL GREATER THAN 24". ANCHOR BOLT SHALL BE MINIMUM 1/2" DIAMETER AND SHALL BE EMBEDDED IN FOUNDATION IN DEPTH MINIMUM 7" OF POURED IN PLACE CONCRETE OR GROUTED IN MASONRY UNIT. ANCHOR BOLT CAN BE SUBSTITUTED WITH METAL STRAP PER MANUFACTURERS SPECIFICATIONS. ALL BEARING PLATES SHALL BEAR ON MINIMUM 8" DEEP SOLID MASONRY.

## 5.02 STEEL-

A) ALL METAL ANCHORS, FASTENERS, JOIST HANGERS, ETC. TO BE GALVANIZED STEEL WHERE EXPOSED TO WEATHER OR IN CONTACT WITH TREATED LUMBER.

B) ALL STRUCTURAL STEEL TO CONFORM TO ASTM-36. PIPE TO BE A53. TUBE TO BE A500 OR A501. DETAILING TO BE IN ACCORDANCE WITH AICS STRUCTURAL STEEL DETAILING MANUAL. CONNECTIONS SHALL BE CAPABLE OF SUPPORTING ALLOWABLE UNIFORM LOAD STRESS OF 24 KSI. BOLTED FIELD CONNECTION SHALL BE 3/4" DIAMETER HIGH STRENGTH BOLTS MEETINGS ASTM SPEC. A-325. BOLTED JOINTS TO BE BEARING TYPE USING THE TURN-OF-THE-NUT METHOD OF TIGHTENING. EXCEPT ADD HARDENED WASHER UNDER TURNED ELEMENT.

## 5.03 NAILING SCHEDULE-

AS PER IRC AND OTHER APPLICABLE BUILDING CODES, OR MANUFACTURERS RECOMMENDED STANDARDS, BUT NOT LESS THAN THAT REQUIRED BY CODE.

5.04 PROVIDE BASE PLATE FOR ALL STRUCTURAL STEEL BEAMS BEARING ON MASONRY.

### 6.0 WOOD

6.01 SILL PLATE-PLATE TREATED TO MEET AMERICAN WOOD PRESERVES INSTITUTE STANDARD LP-2 OR LP-4 WHERE INDICATED ON PLANS.

6.02 ALL EXPOSED EXTERIOR LUMBER- OR LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED IN ACCORDANCE WITH INDUSTRY STANDARDS. FASTENERS FOR ALL PR WOOD SHALL BE HOT DIPPED-GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.

6.03 MAXIMUM MOISTURE CONTENT- OF ALL LUMBER SHALL BE 19%. LUMBER MAY BE KILN DRIED BUT DRYING PROCESS MUST BE REGULATED TO CAUSE A MINIMUM AMOUNT OF CHECKING AND KILN DRIED LUMBER SHALL BE COMPARABLE TO AIR DRIED STOCK.

#### 6.04 STRENGTH OF FRAMING MATERIALS-A. ALL FRAMING LUMBER SHALL BE MIN SPF GRADE 2 OR BETTER AS LABELED

B. ALL STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER

C. PLYWOOD LAMINATED (MICROLAM) BEAMS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED IN AITC A190.1 AND ASTM D 3737 PER IRC 2015 SECTION R502.

D. PREFABRICATED WOOD I-JOISTS STRUCTURAL CAPACITIES AND DESIGN PROVISIONS SHALL BE ESTABLISHED AND MONITORED IN ACCORDANCE WITH ASTM D 5055 PER IRC 2015 SECTION R502.

E. CUTTING AND NOTCHING OF FLOOR JOISTS IS PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN OF THE MEMBER BY A REGISTERED DESIGN PROFESSIONAL.

F. STRESS GRADE LUMBER SHALL BE CLEARLY STAMPED WITH THE LUMBER INSPECTION ASSOCIATION SEAL SHOWING THE STRESS GRADE. ALL FABRICATION, ERECTION AND OTHER PROCEDURES SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS."

G. PREFABRICATED TIMBER SHALL BE INSTALLED AND BRACED PER MANUFACTURES' RECOMMENDATION. TIMBER MEMBER SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE MANUFACTURER.

H. WHERE DOUBLE MEMBERS ARE INDICATED ON THE DRAWINGS, MECHANICALLY FASTEN BOTH MEMBERS IN A MANNER SUCH THAT MEMBERS SHARE THE SUPERIMPOSED LOADS, INCLUDING LOADS FROM HEADERS.

#### 6.05 WOOD FLOOR TRUSSES (IF APPLICABLE)-

SHALL BE DESIGNED AND FABRICATED BY THE TRUSS MANUFACTURER AND SHALL COMPLY WITH NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS. SUBMIT SHOP DRAWINGS AND CALCULATIONS TO THE JURISDICTIONAL PLAN REVIEWER AS REQUIRED BY GOVERNMENT AUTHORITY.

THE DESIGN AND DETAIL OF ALL TRUSSES SHALL MEET THE REQUIREMENTS OF FHA G4541.1 DESIGN CRITERIA FOR TRUSSED RAFTERS, THE "NATIONAL SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS", AND ALL APPLICABLE BUILDING CODES.

## 6.06 WOOD STUDS-

AT BEARING WALL TO BE 2X4'S AT 16" O.C. EXCEPT AT GRADE FLOOR BEARING WALL OF BUILDINGS MORE THAN TWO STORIES HIGH SHALL BE 2X4'S AT 12" O.C. WHERE HEIGHT OF STUD WALL EXCEEDS 10' -0" PROVIDE 2X6'S AT 16" O.C. SEE PLANS FOR STUD SIZES AND SPACING AT WALLS -TYPICAL. ALL BEARING PARTITIONS TO BE BRACED MIDWAY BETWEEN ALL STORIES. WALL STUDS TO BE SPF STUD GRADE OR BETTER. HOLES BORED IN BEARING WALLS STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.

WHEREVER HEIGHT OF STUD WALL EXCEEDS 10'-0" IN ADDITION TO PROVIDING 2X6'S AT 16" O.C., STUDS SHALL EXTEND CONTINUOUSLY, IN ONE PIECE, TO FULL HEIGHT OF THE WALL, UNLESS NOTED OTHERWISE.

## 6.07 WOOD JOISTS-

SHALL HAVE A MINIMUM BEARING OF 1 1/2". WOOD FLOOR TRUSSES TO HAVE MINIMUM BEARING AS PER MANUFACTURERS RECOMMENDATIONS. ALL RAFTERS AND TRUSSES SHALL BE CONNECTED AT BEARING POINTS WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR, MINIMUM 18 GA, WITH CAPACITY TO RESIST 450# LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

A. PREFAB JOISTS AND BEAM HANGERS SHALL BE SIZED AND ATTACHED FOR MANUFACTURES RECOMMENDATIONS. HOLES THROUGH WOOD IS SHALL NOT EXCEED MANUFACTURES RECOMMENDATIONS. NO CUTS OR HOLES ARE ALLOWED THROUGH TOP OR BOTTOM CHORD.

B. WOOD FLOOR JOISTS SHALL BE PER DEPTH AND SPACING SHOWN ON DRAWINGS. SUPPLIER SHALL CONFIRM THAT MEMBERS PROVIDED CAN CARRY THE LOADING DESIGNATED IN SECTION 1.08.

C. PROVIDE 2-3/4" EXTERIOR PLYWOOD BANDS AT ALL PERIMETER BEARING WALLS PROVIDED SQUASH BLOCK AND STIFFENERS AS REQUIRED TO DISTRIBUTE LOADING AND SHEAR REINFORCING AS REQUIRED AT CONCENTRATED LOADS.

D. ALL PREFABRICATED TRUSSES AND TRUSS JOIST SHALL BE DESIGNED FOR THE FOLLOWING LOADS UNLESS NOTED OTHERWISE:

	ROOF: SNOW LOAD LIVE LOAD DEAD LOAD - DEAD LOAD -	TOP CHORD BOTTOM CHORI	- 15 PSF - 20 PSF - 7 PSF D - 10 PSF
FLOOR: LIVE LOAD *SEE NOTE 1.08 FOR APPROPRIATE AREAS DEAD LOAD - 15 PSF			

## SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR REVIEW.

E. PREFABRICATED TRUSS JOISTS SHALL BE DESIGNED TO RESIST THE LOADINGS SHOWN WITH A MAXIMUM LIVE LOAD DEFLECTION OF L/480 OF THE SPAN.

6.08 ALL HEADERS OVER ALL FRAMED OPENINGS TO BE SYP #2 AND SIZED AS PER BELOW UNLESS NOTED OTHERWISE:

ONE STORY ABOVE-	ROOF ONLY ABOVE-
	2-2X6 - OPENINGS UP TO 4'-2"
2-2X8 - OPENINGS UP TO 4'-5"	2-2X8 - OPENINGS UP TO 5'-4"
2-2X10 - OPENINGS UP TO 5'-5"	2-2X10 - OPENINGS UP TO 6'-6"
2-2X12 - OPENINGS UP TO 6'-3"	2-2X12 - OPENINGS UP TO 7'-6"

#### \*NOTE: ALL HEADERS BUILT SOLID WITH 1/2" OSB FLITCH OR MIN R-3 INSULATING BOARD.

#### 6.09 PLYWOOD-

ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THE TYPE, GRADE AND SPECIES OF PLYWOOD AND SHALL BE SO IDENTIFIED BY AN APPROVED TESTING AGENCY.

#### 6.10 PLYWOOD-

SUBFLOOR TO BE 3/4" T AND G PLYWOOD STANDARD STURD-I-FLOOR D.F.P.S. UNLESS OTHERWISE NOTED. DIRECT BEARING AT ALL EDGES, GLUED AND NAILED. ROOF DECK -7/16" OSB- D.F.P.S. WITH EXTERIOR GLUE UNLESS OTHERWISE NOTED. ALL ENDS JOINTS SHALL BE STAGGERED. THE FACE GRAIN OF THE PLYWOOD SHALL BE LAID AT RIGHT ANGLES TO THE JOISTS AND TRUSSES. USE PLYWOOD CLIPS WITH 1/2" ROOF PLYWOOD (IF APPLICABLE).

6.11 ALL WOOD BLOCKING, NAILERS, ETC. SHALL BE ATTACHED TO STEEL OR CONCRETE FRAMING WITH POWER ACTUATED FASTENERS OR 3/8" DIAMETER BOLTS UNLESS NOTED OTHERWISE. FASTENERS SHALL BE SPACED AT 24" MAXIMUM O/C AND SHALL BE STAGGERED. FASTENERS SHALL HAVE A MINIMUM CAPACITY OF 100 POUNDS IN SHEAR AND PULLOUT UNLESS NOTED OTHERWISE.

#### 6.12 INTERIOR TRIM-

2-1/4" OR 3 1/4" WINDOWS & DOOR CASINGS AND 3-1/2" OR 4 1/2" BASE MAY BE FINGER JOINTED, TRADITIONAL PROFILE OR AS INDICATED ON DRAWINGS.

6.13 INTERIOR STAIRS- FABRICATED AND WOOD TRIMMED ON SITE UNLESS OTHERWISE NOTED.

#### 6.14 SHELVING-

UNLESS INDICATED OTHERWISE NOTED ON DRAWINGS CONTRACTOR SHALL INSTALL VINYL WRAP WIRE SHELVING.

6.15 RAILINGS OR HANDRAILS SHALL BE INSTALLED ON ANY EXTERIOR PORCH OR STAIR EXCEEDING 3 RISERS IN HEIGHT OR 30" ABOVE GRADE.

#### 6.16 HANDRAILS-

AT STAIR (IF APPLICABLE) 34" HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD WITH AN OUTSIDE DIA OF AT LEAST 1-1/4", NOT GREATER THAN 2". IF NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4", NOT GREATER THAN 6-1/4" WITH A MAXIMUM CROSS SECTION OF 2-1/4".

#### 6.17 GUARDRAIL-

NOT LESS THAN 42" HEIGHT MEASURED VERTICALLY, EXCEPT FOR BUILDINGS OF USE GROUP R-3 SHALL BE NOT LESS THAN 36". CONSTRUCT SUCH THAT A SPHERE WITH A DIAMETER OF 4" CANNOT PASS THROUGH ANY OPENING.

# 7.0 THERMAL AND MOISTURE PROTECTION

7.01 SILL SEAL- (FOR SLAB FLOOR CONSTRUCTION) 3/16" X 3 1/2" COMPRESSIBLE FOAM BENEATH ALL EXTERIOR SILL PLATES.

## 7.02 INSULATION

## 7.021 WALLS-

R-15, 3-5/8" BATT INSULATION MIN. UNLESS OTHERWISE NOTED. ANY CAVITIES WITHIN HEADER AND CORNER FRAMING TO BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A MINIMUM THERMAL RESISTANCE OF R-3 PER INCH PER TABLE n1102.4.1.1.

## 7.022 FLOORS-

R-19 BATT INSULATION INSTALLED IN ANY FLOORS BUILT OVER UNCONDITIONED SPACES, INCLUDING ELEVATED FLOORS OVER CRAWL SPACE, AND ROOMS EXTENDING OVER GARAGES.

## 7.023 CEILINGS AT ROOF-

R-38 BLOWN INSULATION IN ACCESSIBLE ATTIC AREAS OR R-30 FIBERGLASS BATT WITH VAPOR BARRIER AT VAULTED CEILINGS WHERE AREA DOES NOT EXCEED 500 SQFT PER IRC 2012 SECTION N1102.

7.024 PERIMETER SLAB INSULATION TO BE RIGID EXTERIOR GRADE, MIN. R-10 EXTENDING 4" VERTICALLY AND 2'-0" HORIZONTALLY, MIN. PERIMETER INSULATION TO BE EXTRUDED POLYSTYRENE CLOSED CELL.

7.025 VAPOR BARRIERS TO FACE WARM SIDE OF SPACE (INTERIOR) UNLESS NOTED OTHERWISE ON DRAWINGS.

# 7.03 ROOFING

7.031 SHINGLES-

235# ASPHALT OR FIBERGLASS SHINGLES CLASS 'C' OR BETTER ON #15 ROOFING FELT ON SLOPES OF 4" TO 12" OR GREATER. ON SLOPES LESS THAN 4" TO 12" BUT GREATER THAN 2" to 12" PROVIDE DOUBLE COVERAGE ASPHALT/FIBERGLASS SHINGLES ON TWO LAYERS #15 ROOFING FELT. SHINGLES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND APPLICABLE BUILDING CODES.

## 7.032 VALLEY FLASHING and CRICKETS REQUIRED

OPEN VALLEYS SHALL BE FLASHED WITH MIN. NO. 28 GAUGE GALVANIZED CORROSION-RESISTANT SHEET METAL AND SHALL EXTEND MIN. 8" FROM CENTER LINE EACH WAY. CLOSED VALLEY FLASHING SHALL BE 2 LAYERS 90# MINERAL SURFACED CAP SHEET WITH BOTTOM LAYER MINIMUM 12" WIDE AND TOP LAYER 24" WIDE, CEMENTED TOGETHER. CLOSED VALLEYS MAY ALSO BE OF 36" WIDE FOIL ROOFING MATERIAL NOT LESS THAN NO. 50 IN VALLEY OVER THE UNDERLAYMENT OR MAY BE WOVEN.

## 7.033 RIDGE-FLASHING

INSTALL AS PER MANUFACTURERS SPECIFICATIONS.

5-17-19 8-21-19

Revisions:

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Sheet #

of 6

#### 7.04 EXTERIOR WALLS

#### 7.041 FLASHING-

TO BE NERVASTRAL PLASTIC PROVIDED AT BOTTOM AND SIDES OF ALL EXTERIOR DOOR OPENINGS IN SUCH A MANNER TO BE LEAK PROOF.

#### 7.042 FLASH AND COUNTER FLASH-

ALL ROOF TO WALL CONDITIONS, MINIMUM NO. 26 U.S. GAUGE CORROSION RESISTANT ALUMINUM STEP FLASHING AS REQUIRED TO MAINTAIN MIN, HEIGHT.

7.043 FLASH ALL EXTERIOR OPENINGS AND ALL BLDG. CORNERS WITH APPROVED WATERPROOF BLDG. PAPER TO EXTEND AT LEAST 4" BEHIND WALL COVERING.

7.044 FLASH AND CAULK WOOD BEAMS AND OTHER PROJECTIONS THROUGH EXTERIOR WALLS OR ROOF SURFACES.

#### 7.045 EXTERIOR SHEATHING

7/16" O.S.B. SHEATHING INSTALLED PER MANUFACTURERS SPECIFICATIONS UNLESS NOTED OTHERWISE ON DRAWINGS.

#### 7.05 FIRESTOPPING -

SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) IN THE FOLLOWING LOCATIONS:

1. IN EXTERIOR OR INTERIOR STUD WALLS, AT CEILING AND FLOOR LEVELS AND SO PLACED THAT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACE IS NOT MORE THAN 10'. 2. BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND BETWEEN STUDS IN LINE WITH

STAIR RUN. 3. SPACES BETWEEN CHIMNEYS AND WOOD FRAMING SHALL BE FILLED WITH LOOSE NONCOMBUSTIBLE MATERIAL (2" MIN. THICKNESS), PLACED IN NONCOMBUSTIBLE SUPPORTS TIGHTLY FITTED TO THE CHIMNEY.

4. OTHER LOCATIONS NOT MENTIONED ABOVE SUCH AS HOLES FOR PIPES, SLEEVES, BEHIND FRAMING STRIPS AND OTHER SIMILAR PLACES WHICH COULD AFFORD A PASSAGE FOR FLAMES.

WHEN OF WOOD, SHALL BE MIN. 2" NOMINAL THICKNESS AND MAY ALSO BE MADE OF GYPSUM BOARD, MINERAL WOOL OR OTHER NONCOMBUSTIBLE MATERIAL.

### 7.052 DRAFTSTOPPING

PROVIDE DRAFT STOPPING WHERE REQUIRED IN ACCORDANCE WITH APPLICABLE CODES.

#### 7.06 VENTILATION -

PROVIDE ADEQUATE CROSS VENTILATION (MINIMUM AS REQUIRED BY CODE), FOR ALL CONCEALED ATTIC AND RAFTER SPACES. PROVIDE CROSS VENTILATION AS REQUIRED BY CODE FOR CRAWL SPACES. SEE ROOF PLANS FOR VENT LOCATIONS.

## 7.07 GUTTERS AND LEADERS -

IF APPLICABLE, PRE-FINISHED ALUMINUM LEAD TO SPLASH BLOCKS.

7.08 ALL WOOD SHALL BE MINIMUM 8" ABOVE FINISH GRADE OR PRESSURE TREATED LESS THAN 8" ABOVE FINISH GRADE. ALL SIDING SHALL BE MINIMUM 6" ABOVE FINISH GRADE.

### 7.09 FLASHING -

WHEN VENEER OF BRICK, CLAY TILE, CONCRETE OR NATURAL OR ARTIFICIAL STONE ARE USED 30 MIL PLASTIC FLASHING SHALL BE ATTACHED TO THE SHEATHING WHEREVER NECESSARY TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.

7.10 ROUGH CARPENTRY CONTRACTORS SHALL SEAL WITH CONSTRUCTION ADHESIVE, PLATES AT FLOOR AND CEILING. AND CAULK ALL WINDOW AND DOOR FLANGES/JAMS AND ALL PANEL BUTT JOINTS PRIOR TO AND DURING ERECTION.

7.11 ALL PIPES, DUCTS, VENTS, WIRING, AND CHASES WHICH PENETRATE CEILINGS DIRECTLY BELOW A TRUSS OR ROOF ASSEMBLY SHALL BE FIRESTOPPED.

## 8.0 DOORS AND WINDOWS

8.01 EXTERIOR ENTRANCE DOORS - 1-3/4" SOLID WOOD CORE OR HOLLOW METAL MIN. 20 GAUGE FILLED WITH SOLID SLAB POLYSTYRENE INSULATION PERMANENTLY BONDED TO PANELS. PROVIDE 1-1/2 PAIR HINGES FOR DOORS UP TO 7'-2" IN HEIGHT AND 2 PAIR DOORS TO 8'0" IN HEIGHT. SEE DRAWINGS FOR RAISED PANEL DESIGN. PROVIDE COMPLETE WEATHER STRIPPING AND METAL THRESHOLD.

8.02 GARAGE TO HOUSE DOORS - IF APPLICABLE - TO BE 20 MIN. METAL OR SOLID WOOD CORE 1-3/4", FIRE-RATED. SEE PLANS FOR STYLE AND SIZES REQUIRED.

8.03 INTERIOR DOORS - TO BE HOLLOW CORE WOOD WITH WOOD VENEER OR PLASTIC LAMINATE FACING.

## 8.04 DOOR SIZES - REFER TO FLOOR PLANS.

8.05 OVERHEAD GARAGE DOOR SHALL BE TESTED IN ACCORDANCE WITH ASTM E330 OR ANSI/ DASMA108.

## 8.1 WINDOWS

ALL WINDOWS TO BE VINYL / PVC AND SELF FLASHING. SIZES AS SPECIFIED ON DRAWINGS. SET BOTTOM OF WINDOWS MIN 18" ABOVE FINISHED FLOOR. ALL WINDOWS TO HAVE A MINIMUM DESIGN PRESSURE RATING OF +/- 25 PSF AND MAX 0.35 FENESTRATION U-FACTOR.

## 8.11 GENERAL

GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS ENTRY DOORS AND SIDELIGHTS, SLIDING GLASS DOORS, SHOWER DOORS, TUB ENCLOSURES AND STORM DOORS SHALL BE FULLY TEMPERED IN ACCORDANCE WITH THE IRC CODE. FIXED PANELS WITH AREA IN EXCESS OF 9 SQ. FT. WITH THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISHED FLOOR OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING UNLESS A HORIZONTAL MEMBER NOT LESS THAN 1 1/2" WIDTH LOCATED BETWEEN 24" AND 36" ABOVE THE WALKING SURFACE SHALL BE FULLY TEMPERED. SEE R308 IN 2009 IRC FOR EXCEPTIONS TO HAZARDOUS LOCATIONS. IF APPLICABLE.

## 8.12 WEATHER PROOFING

ALL SWINGING DOORS AND WINDOWS OPENING TO THE EXTERIOR SHALL BE FULLY WEATHERSTRIPPED, CAULKED, OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION. PROVIDE MAXIMUM AIR INFILTRATION AS FOLLOWS:

1. WINDOWS SHALL HAVE AN AIR INFILTRATION RATE OF LESS THAN 0.5 CFM PER FOOT OF SUCH CRACK.

#### 8.13 EMERGENCY EGRESS

EVERY SLEEPING ROOM ABOVE THE FIRST FLOOR SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR FOR EMERGENCY EGRESS OR RESCUE. EGRESS WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISHED FLOOR AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND MINIMUM OPENING WIDTH OF 20". GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT.

#### 8.14 ALL OPERABLE WINDOWS

SHALL HAVE NONCORROSIVE SCREENS AND SASH LOCKS.

#### 9.0 FINISHES

9.01 GYPSUM WALLBOARD (PLASTER FINISH / SPRAYED CEILING) SHALL BE INSTALLED IN ACCORDANCE WITH U.S. GYPSUM RECOMMENDATIONS AND SHALL MEET THE REQUIREMENTS OF IRC AND OTHER APPLICABLE CODES. TYPICAL INTERIOR PARTITIONS TO HAVE 1/2" TAPERED EDGE TAPED AND FINISHED. PROVIDE 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD AT GARAGE CEILINGS WHERE CALLED FOR ON THE DRAWINGS, WHICH SEPARATE GARAGE AND LIVING AREAS WHERE REQUIRED BY CODE.

#### 9.02 GYPSUM WALLBOARD

SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS

9.03 SUPPORT ALL EDGES AND ENDS OF GYPSUM BOARD SHALL OCCUR ON FRAMING MEMBERS EXCEPT THOSE EDGES PERPENDICULAR TO FRAMING MEMBERS.

#### 9.04 MOISTURE RESISTANT GYPSUM BOARD

PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND WHENEVER MOISTURE CONDITIONS CAN EXIST OR AS REQUIRED BY CODE.

SHOULD BE USED WITH M.R. GYP. BD. AND WHEREVER MOISTURE CONDITION CAN EXIST.

#### 9.06 CERAMIC TILE

CERAMIC TILE SHALL BE GLAZED TILE OF DIFFERING SIZES, THIN SET APPLICATION ON WATER RESISTANT DRYWALL OR CEMENTUOUS BACKER BOARD. WHERE TILE IS TO BE DIRECTLY EXPOSED TO WATER OR HIGH HUMIDITY AREAS SUCH AS BATH TUBS AND SHOWERS, USE ONLY CEMENTUOUS BACKER BOARD. PROVIDE BASE AND MISCELLANEOUS TRIM. PROVIDE MARBLE OR ALUMINUM THRESHOLD FOR TRANSITION BETWEEN CERAMIC FLOOR TILE AND OTHER FLOOR FINISHES. FLOOR TILE SHALL BE NON SLIP. ALL OTHER DECORATIVE TILE WORK SHALL BE SPELLED OUT IN CONTRACT BETWEEN OWNER & CONTRACTOR OR AS INDICATED BY ALLOWANCE.

#### 9.07 RESILIENT FLOORING

SHALL BE SHEET VINYL, VINYL COMPOSITION TILE, LAMINATE FLOORING OR BETTER AND INSTALLED AS PER MANUFACTURES SPECIFICATIONS AND IN ACCORDANCE WITH ALLOWANCE.

#### 9.08 UNDERLAYMENT

PROVIDE SUITABLE FLOOR UNDERLAYMENT FOR ALL CERAMIC TILE AND RESILIENT

### 9.09 CARPET & HARDWOOD FLOORING

ALL CARPET AND HARDWOOD FLOORING ALLOWANCES SHALL BE SPELLED OUT IN CONTRACT PROPOSAL ALLOWANCES.

## 9.10 PAINT, INTERIOR

CEILINGS LATEX FLAT, 1 COAT -SPRAYED

WALLS FOR DRYWALL FINISH: LATEX FLAT, 1 COAT -SPRAYED

TRIM 2 COATS - 1ST COAT SPRAYED LATEX FLAT, 2ND COAT SEMI-GLOSS BRUSHED OR SPRAYED OVER FIRST COAT

GARAGE INTERIOR OF SERVICE DOOR AND INTERIOR CASING (IF PRESENT) ALWAYS TO BE PAINTED ONE COAT (SPRAYED OR BRUSHED). IF GARAGE IS SPECIFIED TO BE PAINTED, LATEX FLAT, 1 COAT (SPRAYED).

## KITCHEN AND BATHROOMS (OPTION)

LATEX SEMI-GLOSS ON 2ND COAT CEILING WALLS LATEX SEMI-GLOSS ON 2ND COAT

## 9.11 EXTERIOR PAINT (IF APPLICABLE)

TRIM LATEX (1) COAT PRIME (1) COAT FINISH. SAND BETWEEN COATS AS NECESSARY.

\*BUILDER MAY CHOSE TO METAL WRAP EXPOSED WOOD AT EXTERIOR TRIM OR LEAVE NATURAL ANY PT WOOD.

## 10.0 SPECIALTIES

10.01 BATH VANITIES - AS SELECTED BY (OWNER) OR AS PER ALLOWANCE

10.02 BATH FIXTURES - AS SELECTED BY (OWNER) OR AS PER ALLOWANCE

## 11.0 EQUIPMENT

ALL APPLIANCES ALLOWANCES SHALL BE SPELLED OUT IN BASE CONTRACT AS PROVIDED BY THE BUILDER.

#### 12.0 FURNISHINGS NONE

13.0 SPECIAL CONSTRUCTION PER CONTRACT (IF APPLICABLE) OWNER TO SUPPLY THE FOLLOWING UNITS TO BE INSTALLED BY THE CONTRACTOR:

## 14.0 CONVEYING SYSTEMS

NONE

#### 15.0 MECHANICAL

#### 15.01 H.V.A.C.

KITCHEN AND BATH VENTILATION METAL DUCTS TO EXTERIOR WHERE INDICATED AND/OR REQUIRED BY APPLICABLE CODES. COMPLETE INSTALLATION CIRCULATING AIR COMBUSTION TO MEET ALL REQUIREMENTS OF THE MANUFACTURER AND THE STATE. SYSTEM SHALL BE SINGLE OR DUAL ZONE STRAIGHT AIR WITH GAS OR ELECTRIC HEAT UNLESS SPECIFIED OTHERWISE.

#### 15.02 PLUMBING

SANITARY; COLD AND HOT WATER; AND ALL OTHER PIPING SHALL CONFORM TO THE REQUIREMENTS, LOCAL AND STATE.

15.3 PROVIDE MINIMUM 21" WALKING SPACE IN FRONT OF ALL PLUMBING FIXTURES IN BATHROOMS AND 14" X 30" ACCESS PANEL AT TUB CONNECTIONS UNLESS OTHERWISE NOTED. ALL SHOWER STALLS SHALL HAVE A MINIMUM OF 30" IN ANY DIRECTION. WATER CLOSETS TO BE A MINIMUM OF 15" FROM SIDEWALLS TO CENTERLINE OF FIXTURE.

PLUMBING CONTRACTOR SHALL PROVIDE THE FOLLOWING HOOK-UPS FOR WATER AND SANITARY SEWER CONNECTIONS:

1. WATER SERVICES SHALL BE CONNECTED TO CITY SUPPLIED WATER METER AT PROPERTY LINE.

2. SEWER CONNECTION: PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SEWER LINE TO TAP AT ROAD.

#### 16.0 ELECTRICAL

SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER CO. AND ALL APPLICABLE LOCAL REGULATIONS. OBTAIN ALL PERMITS AND PAY FEES REQUIRED FOR THIS WORK. HAVE THE INSTALLATION INSPECTED AND APPROVED BY AN INSPECTION AGENCY OF THE FIRE UNDERWRITER'S ASSOCIATION. SUBMIT A CERTIFICATE OF FINAL APPROVAL BY THE INSPECTION AGENCY UPON COMPLETION. FIXTURES AND APPARATUS AS SELECTED BY BUILDER. UNLESS OTHERWISE NOTED.

#### 16.01 SMOKE DETECTORS

ARE REQUIRED AND SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN EACH BEDROOM, AND ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND CELLARS (IF APPLICABLE) BUT NOT IN UNINHABITABLE SPACES. ALL DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND 2015

#### 16.02 CARBON MONOXIDE DETECTORS

SHALL BE PROVIDED IN DWELLING UNITS WHERE EITHER THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE OR THE DWELLING UNIT HAS AN ATTACHED GARAGE WITH AN OPENING UNIT THAT COMMUNICATES WITH THE DWELLING UNIT. ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM. ALL DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND 2015

\*SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITHOUT A DISCONNECTING SWITCH AND BE PROVIDED WITH A BATTERY BACKUP.

## CLEARING OF THE LOT PER SITE PLAN DETAILS

BUILDER WILL GRADE AND SEED THE LOT AS REQUIRED TO MAINTAIN A POSITIVE DRAINAGE FOR THE PROPERTY IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS. OWNER SHALL BE MADE AWARE THAT IN INSTANCES OF HEAVY RAIN THE SUBDIVISION WATER RUNOFF MANAGEMENT PLAN SPECIFICALLY RESTRICTS THE WATER FLOW FROM THE PROJECT IN ORDER TO PREVENT SILT RUNOFF INTO LOCAL WATERWAYS. THIS COULD CAUSE LOTS TO TAKE UP TO 24 HOURS TO DRAIN OFF.

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Revisions:

5-17-19

8-16-19

Sheet #